

RESOLUTION NO. 2021-086

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE GRANTING THE APPEAL OF PLANNING COMMISSION DENIAL, THEREBY FINDING NO FURTHER ENVIRONMENTAL REVIEW IS NECESSARY PURSUANT TO STATE CEQA GUIDELINES SECTIONS 15162 AND 15183; AND APPROVING A CONDITIONAL USE PERMIT AND MAJOR DESIGN REVIEW FOR THE BOND AND WATERMAN SHELL WITH 7-ELEVEN AND STORAGE FACILITY (APLA21-001); LOCATED AT 9287, 9291, 9295, AND 9299 BOND ROAD; ASSESSOR PARCEL NUMBERS: 127-1030-005, -008, -009, AND -010

WHEREAS, the Development Services Department of the City of Elk Grove (the “City”) received an application on November 22, 2017, from California State Regional Center, LLC., (the “Applicant”) requesting a Conditional Use Permit and Major Design Review for the Bond and Waterman Shell with 7-Eleven and Storage Facility Project (the “Project”); and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as APN 127-1030-005, -008, -009, and -010; and

WHEREAS, the Development Services Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code (EGMC), and Title 23 (Zoning), the Elk Grove Design Guidelines, and all other applicable state and local regulations; and

WHEREAS, on February 9, 2021, the Planning Commission denied the Project (EG-17-058); and

WHEREAS, on February 18, 2021, the Applicant filed an Appeal with the Elk Grove Office of the City Clerk appealing the Planning Commission’s denial of the Project; and

WHEREAS, the City Council held a duly-noticed Appeal public hearing on March 24, 2021, as required by law to consider all of the information presented by staff, information presented by the applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Elk Grove hereby grants the Appeal and finds no further environmental review is required under CEQA for the Bond and Waterman Shell with 7-Eleven and Storage Facility Project (APLA21-001) under §15162 (Subsequent EIRs and Negative Declarations) and §15183 (Projects Consistent with a Community Plan, General Plan, or Zoning) of Title 14 of the California Code of Regulations based upon the following finding:

California Environmental Quality Act (CEQA)

Finding #1: Finding that no further environmental review is necessary under CEQA pursuant to State CEQA Guidelines Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning) and Section 15162 (Subsequent EIRs and Negative Declarations).

Evidence #1: CEQA requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment” (State CEQA Guidelines Section 15378). The proposed Project is a project under CEQA.

State CEQA Guidelines Section 15183, provides that projects which are consistent with the development density established by a Community Plan, General Plan, or Zoning for which an environmental impact report (EIR) has been certified “shall not require additional environmental review, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site.” An EIR was prepared and certified by the City Council as part of the Elk Grove General Plan (SCH# 2017062058).

The proposed Project is consistent with the development density and use characteristics considered by the General Plan EIR in the Community Commercial land use designation. The Project consists of a Conditional Use Permit and a Major Design Review for the construction of a new ±127,200 square-foot multi-building personal storage facility with a detached ±1,200 square foot accessory office building, and an ±4,181 square foot automobile fueling station with an attached car wash and canopy with associated parking, lighting, and landscaping on vacant parcels zoned General Commercial (GC). New construction on the Project site will comply with EGMC development standards for land grading and erosion control (Chapter 16.44), water efficient landscape requirements (Chapter 14.10) as well as EGMC Title 16 (Building and Construction) and Title 22 (Land Development). Compliance with these standards has been included in the conditions of approval for the Project.

In February 2019, the City Council adopted a new General Plan which relies on Vehicle Miles Traveled (VMT) as a measure of transportation impacts. The Project site is not part of the pre-screened area and the proposed buildings will be more than 50,000 square feet; therefore, the Project is not exempt from further transportation analysis. The Applicant provided a VMT analysis from Fehr and Peers, dated March 25, 2020. This analysis was reviewed by the City’s Traffic Engineer. In comparison with the City’s General Plan, the land use designation limit for Community Commercial is 41.6 VMT per service population and the analysis states that the Project will result in 20.4 VMT per service population, which will not exceed the General Plan’s threshold. In addition, the Project VMT analysis demonstrated that the cumulative VMT within the City would be less than the City’s established total VMT limit as the Project results in a total VMT of 6,362,787 total, which is less than the Citywide total of 6,367,833 total. In addition, the Project shall comply with the City’s Climate Action Plan (CAP) for new non-residential development, including CAP measures: BE-4. Energy Efficiency, BE-7. Solar Photovoltaics System Readiness, TACM-3. Transportation Demand Management Plan, TACM-6. Vehicle Miles Traveled Threshold, TACM-8. Tier 4 Final Construction Equipment, TACM-9. Electric Vehicle Supply Equipment.

The Project was also analyzed under the Mitigated Negative Declaration (MND) for the Bond Waterman Retail Project (EG-07-049) for which a Mitigation Monitoring and Reporting Program (MMRP) was adopted (SCH#2007102035) in

2007 for this property site, which included mitigation measures to reduce biological impacts to a less than significant level. The Project must comply with the adopted MMRP which required development of the subject parcel to mitigate for impacts to Swainson's hawk foraging habitat. State CEQA Guidelines Section 15162 (Subsequent EIRs and Negative Declarations) provide that when a Mitigated Negative Declaration (MND) has been adopted for a project, no subsequent document shall be prepared for that project unless the lead agency on the basis of substantial evidence in light of the whole record, finds that there are new significant environmental effects due to a change in the project or circumstances or there is new information of substantial importance as identified in the State CEQA Guidelines Section 15162. A MND was adopted in 2007 for a retail project. According to the MND, approximately 2.73 acres of the site at the time had been occupied by residences that were demolished. These 2.73 acres were not viewed as viable foraging habitat for the Swainson's hawk since they have been previously disturbed. The approximately two acres remaining are contiguous with a large portion of land that is suitable hawk habitat and is in excess of five acres when combined. However, since the original MND, the baseline has changed as time has passed and the previously disturbed area is now considered potential habitat. The Project includes a condition of approval to mitigate for the loss of 4.73 acres of Swainson's hawk foraging habitat.

No potential new impacts related to the Project have been identified that would necessitate further environmental review beyond the impacts and issues already disclosed and analyzed in the General Plan EIR. No other special circumstances exist that would create a reasonable possibility that the Project will have a significant adverse effect on the environment. Therefore, pursuant to State CEQA Guidelines Sections 15183 and 15162, no further environmental review is required.

AND, BE IT FURTHER RESOLVED, that the City Council of the City of Elk Grove hereby overturns the Planning Commission's denial and approves a Conditional Use Permit and Major Design Review for the Project, as described in Exhibit A and illustrated in Exhibit B, subject to the Conditions of Approval in Exhibit C (all incorporated herein by this reference), based upon the following findings.

Conditional Use Permit

Finding #1: The proposed use is consistent with the General Plan and all applicable provisions of this EGMC Title 23.

Evidence #1: The General Plan Community Commercial (CC) designation is characterized by retail and service uses that meet the daily needs of residents, the surrounding neighborhood and community needs beyond the surrounding neighborhood. The General Commercial (GC) zoning district is intended to allow for medium-to-high intensity uses with a wide range of retail, wholesale commercial, entertainment, office, service, and professional uses. Development should be pedestrian-oriented but is expected to be auto-accommodating as well. Specifically, the Project will be consistent Policy LU-2-4, which requires new infill development projects to be compatible with the character of surrounding areas and neighborhoods, support increased transit use, promote pedestrian and bicycle mobility, and increase housing diversity. The Project will provide a variety of

services to the nearby existing and new residential neighborhoods and the office buildings and connect with different modes of transportation, for example pedestrian, equestrian, and vehicles. The GC zoning district is considered a consistent zoning district of the CC land use designation according to the Table 3-1 (Consistency Matrix) of the General Plan. The personal storage, fueling station and car wash uses are conditionally permitted uses in the GC zone pursuant to EGMC Table 23.27-1 (Allowed Uses and Required Entitlements). In addition, the Project will be required to comply with the City's Climate Action Plan (CAP) and Vehicle Miles Traveled requirements in the General Plan.

Finding #2: The establishment, maintenance or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use, or the general welfare of the City.

Evidence #2: The personal storage facility will have approximately 900 units that will range in size from 25 to 300 square feet in four separate buildings. Three of the buildings will be single story and one building will be three stories in height. A ±1,200 square-foot, two-story accessory office will be located near Waterman Road, which will include a residential unit with garage space for the storage facility manager. Though the facility will have hours of operations Monday through Sunday from 7:00 AM to 7:00 PM, customers will have 24-hour access to the personal storage units with a personal pin through the two security gates. There will be approximately four employees and one manager for the personal storage facility.

The fueling station facility will have a ±3,035 square-foot convenience store with an attached ±1,146 square-foot self-service car wash. The fuel station will accommodate six dispensers underneath a canopy. The convenience store will have hours of operation of 24 hours a day, 7 days a week. The fuel station will have approximately 16 employees, with 10 being full-time. The car wash will have hours of operation from 7:00 AM to 10:00 PM. In addition, roll-up gates will be installed at the entrance and exit of the car wash to maximize the site safety. The gates to the car wash will be closed during off hours. The vehicles for the car wash will be queue into one driveway lane, which will allow for up to seven cars to stack behind the convenience store and not create any traffic congestion for the entrance/exit at Bond Road or the entrance to the personal storage facility.

Pursuant to EGMC Section 23.72.040(L), all outdoor noise generators associated with the business shall be identified by the Applicant during the conditional use permit review and may require the submittal of a professional noise analysis to quantify noise sources. The Applicant submitted noise information during the review process that provided construction and operation details for the car wash. In addition, the car wash building is located 260 feet or more from the nearest residential neighborhood and multiple buildings, including the proposed storage facility and a six-foot high masonry wall will provide a noise buffer for the properties to the north and west of the subject property. With this information, staff determined that no additional noise mitigation measures will be required for this Project.

The surrounding uses range from office building to high density residential to single-family residential. Staff determined that the proposed Project will have minimum impacts on the surrounding neighborhood and will provide a variety of services to the neighborhood that will accommodate pedestrian and vehicular-oriented users. The personal storage facility will be located near residential uses, but as a low-impact use, can provide a buffer between the surrounding residential uses and the fueling station and the roadway intersection. The uses are consistent with the General Plan designation for the site of Community Commercial and all applicable provision of Title 23 of EGMC; therefore, the Project will not be detrimental to the health, safety, peace, morals, comfort or general welfare of person residing or working in the area or the general welfare of the City.

Major Design Review

Finding #1: The proposed Project is consistent with the objectives of the General Plan, complies with applicable Zoning regulations, applicable Design Guidelines, and Improvement Standards adopted by the City.

Evidence #1: The General Commercial (GC) zoning district is intended to allow for medium-to-high intensity uses with a wide range of retail, wholesale commercial, entertainment, office, service, and professional uses. Development should be pedestrian-oriented but is expected to be vehicle-accommodating as well. The personal storage facility is characterized as “storage, personal storage facility”, which is a structure or group of structures containing generally small, individual, compartmentalized stalls or lockers rented as individual storage spaces and characterized by low parking demand. The fueling station and car wash are characterized under two categories, “fueling station” and “car washing and detailing”. All three uses proposed are conditionally permitted uses in the GC zone pursuant to EGMC Table 23.27-1 (Allowed Uses and Required Entitlements). As conditioned, the Project will be consistent with the Design Guidelines and development standards. The multiple buildings will have a compatible architectural design and will be integrated into the built environment and will have a more pedestrian-oriented design towards Bond Road and Waterman Road.

Finding #2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #2: All sides of the parking and driveway access will be shaded (approximately 44 percent) by landscaping. The proposed landscaping will be a mixture of 15-gallon and 24-inch box trees, which include Red Maple, Crape Myrtles, Evergreen Elm and Laurel trees with a mixture of variety of shrubs and groundcover. The west side, south side and a portion of the northeast side will accommodate bio-retention facilities.

The facilities share two access points: one from Waterman Road and the second one from Bond Road. The layout of the Project site locates the fueling station at the southwest corner of the site with the four personal storage buildings, including an accessory office building to the north and west of the fueling station. The architecture of the facilities will enhance the character of the neighborhood by having the building facades of both facilities treated with a variety of a material and colors, including

stucco, metal, and stone. Colors include a variety of earth tone colors with a mixture of light tan to dark browns with a deep “Colonial Red” accent color. The earth tone colors will be compatible with the surrounding buildings.

Finding #3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signage and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence #3: The Project is required to incorporate a variety of design treatments for the purposes of ensuring the development is compatible with the surrounding area and is integrated into the built environment. Even through the majority of the land near the Project is vacant, there are buildings to the north and south of the property which are primarily residential, including the approved Elliot Springs residential project. In addition to the variety of colors and materials, the three-story building for the personal storage facility will have large amounts of glazing around the building especially near the entrance at Waterman Road. In addition, the convenience store has a variety of roof planes and height with a defined entrance for a human-scale architecture.

Finding #4: The proposed Project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #4: The Project will be a ±127,200 square-foot, multi-building personal storage facility and a ±4,181 square-foot fueling station with a car wash. The proposed facilities will have two access points: one from Waterman Road and the other from Bond Road. The layout of the Project site locates the fueling station at the southwest corner of the site with the five personal storage buildings, including an accessory office building, to the north and west. The vehicular access will be a two-lane driveway around the facilities, in addition, with access in between the personal storage buildings. There will two security gates to access the personal storage facility; one located near Bond Road and the second near Waterman Road.

There will be a total of 25 parking spaces for both facilities which will be shared between the personal storage facility and the fueling station. The majority of the parking spaces will be situated in front of the convenience store, with a few along the south and east side of the property. There will be a small number of parking spaces near the office building for the personal storage facility including one space inside a garage underneath the office for the manager. Two bicycle parking spaces will be in front of the convenience store.

The City of Elk Grove’s Bicycle, Pedestrian, and Trails Master Plan (BPTMP) shows a multi-use Class 1 Bikeway and an Equestrian Trail to be located along the east property line along Waterman Road. The submitted plans shows a separated meandering 10-foot wide Class 1 multi-use path and five-foot wide equestrian trail that will connect to the apartment complex to the north with the Bond and Waterman intersection. The BPTMP includes a multi-use Class 1 Bikeway along a portion of Bond Road, west of Waterman Road. Bond Road, west of the Project was recently improved with a separated, meandering sidewalk and no Class 1 off-street path. Even with the change in design from BPTMP and a portion of the proposed trail not being consistent with the BPTMP, the Trails

Committee voted 5-0 to approve the Project as it stands and incorporate access to the intersection up to the horse turnaround as shown on the proposed site plan. The trails along Waterman Road will be connected to a five-foot wide stamped concrete pathway to the convenience store. There will also be a pedestrian walkway that connects to the sidewalk on Bond Road.

Finding #5: For residential subdivision design review applications, the residential subdivision is well integrated with the City's street network, creates unique neighborhood environments, reflects traditional architectural styles, and establishes a pedestrian friendly environment.

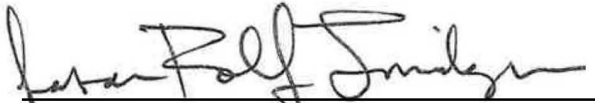
Evidence #5: The Project is not a residential subdivision. Therefore, this finding is not relevant to the Project.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 24th day of March 2021



BOBBIE SINGH-ALLEN, MAYOR of the
CITY OF ELK GROVE

ATTEST:



JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:



JONATHAN P. HOBBS,
CITY ATTORNEY

Exhibit A
Bond and Waterman Shell with 7-Eleven and Storage Facility (APLA21-001)
Project Description

PROJECT DESCRIPTION

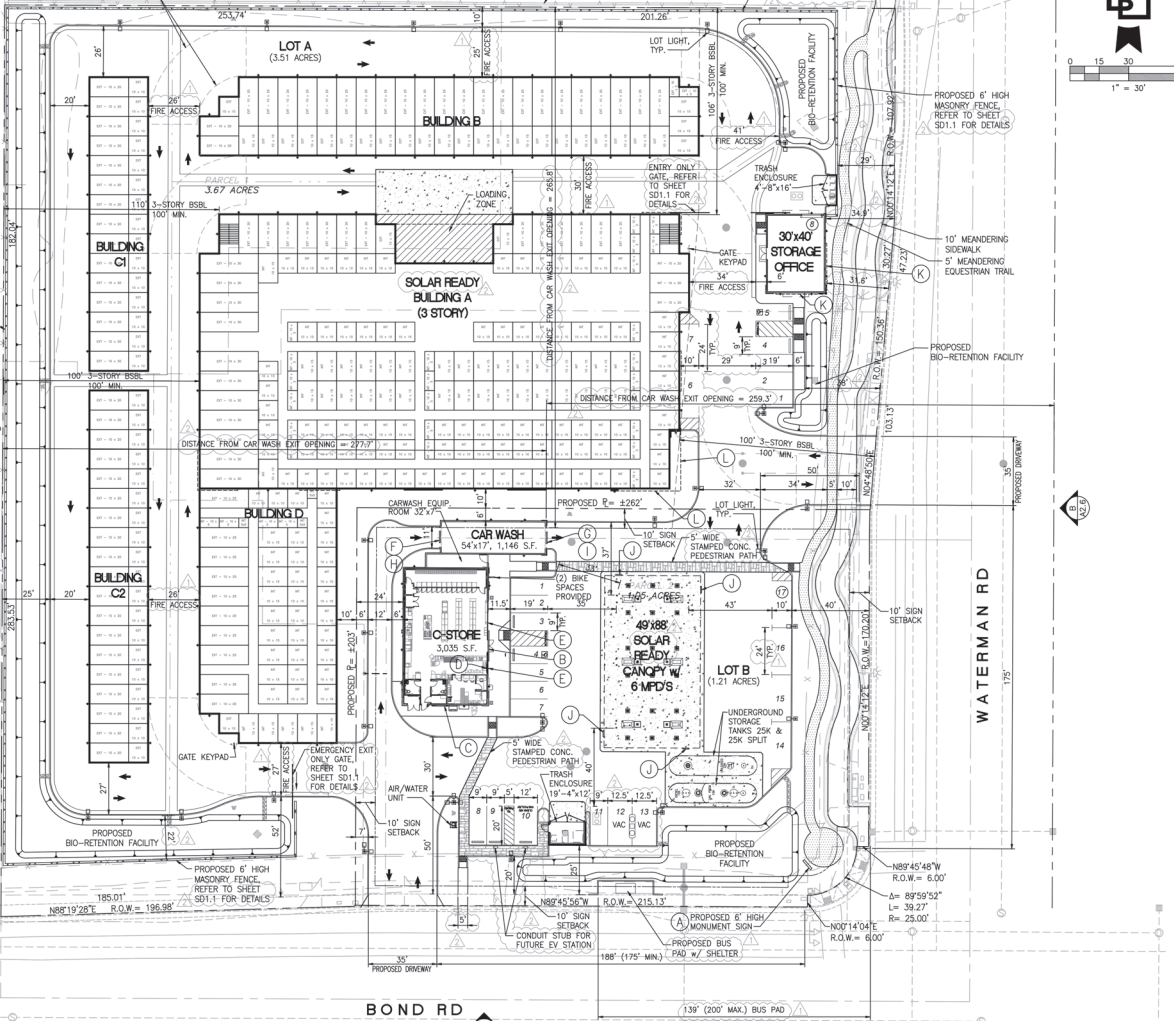
The Project consists of a Conditional Use Permit and a Major Design Review for the construction of new ±127,200 square foot multi buildings for a personal storage facility with a detached ±1,200 square foot accessory office building, and an ±4,181 square foot fueling station with an attached car wash and canopy with associated parking, lighting, and landscaping on vacant parcels zoned General Commercial (GC). The Applicant shall construct the new facilities in accordance with the City's Action Plan (CAP) for non-residential construction. This includes compliance with the following CAP measures: BE-4. Energy Efficiency, BE-7. Solar Photovoltaics System Readiness, TACM-3. Transportation Demand Management Plan, TACM-6. Vehicle Miles Traveled Threshold, TACM-8. Tier 4 Final Construction Equipment, TACM-9. Electric Vehicle Supply Equipment.

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EXHIBIT B PROJECT PLANS

PRELIMINARY SITE PLAN

A MINIMUM OF 25' INSIDE AND 50' OUTSIDE WITH A CLEAR VERTICAL CLEARANCE OF 13'-6" IS PROVIDED FOR ALL FIRE ACCESS LANES AND DRIVEWAYS. BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, FIRE EXTINGUISHERS AND CABINETS, AND GATES OR OVERHANGS SHALL NOT PROTRUDE INTO THE REQUIRED FIRE LANE WIDTH, TYPICAL.



NO SITE PLAN DEVIATIONS FROM THE CITY OF ELK GROVE STANDARDS PROPOSED

PROJECT DATA
 LOCATION: SEC BOND ROAD & WATERMAN ROAD, ELK GROVE, CALIFORNIA
 COMBINED LOT 7A & 7B AREA: 205,696 S.F.
 COMBINED LOT 7A & 7B LANDSCAPE AREA: 45,725 S.F. (EQUESTRIAN TRAIL EXCLUDED)
 COMBINED LOT 7A & 7B LANDSCAPE COVERAGE: 22%

LOT A - STORAGE FACILITY
 LOT AREA: 115,289 S.F. (3.51 AC)
 AREA OF LANDSCAPE: 32,133 S.F. (EQUESTRIAN TRAIL EXCLUDED)
 LANDSCAPE COVERAGE: 21%
 BUILDING AREA:
 BUILDING A (3-STORY): 98,250 S.F. (32,750 S.F. PER STORY)
 BUILDING B: 9,850 S.F.
 BUILDING C1: 4,500 S.F.
 BUILDING C2: 5,700 S.F.
 BUILDING D: 8,900 S.F.
 STORAGE OFFICE: 1,200 S.F.

LOT B - CAR WASH
 LOT AREA: 852,707 S.F. (1.21 AC)
 LOT COVERAGE:
 C-STORY W/ ATTACHED CARWASH: 4,181 S.F. = 7.83% COVERAGE
 CANOPY: 4,312 S.F. = 8.18% COVERAGE (MAX. ALLOWED: 20%)
 TOTAL PARKING AREA: 8,493 S.F. = 16.11% TOTAL COVERAGE (MAX. ALLOWED: 40%)
 AREA OF LANDSCAPE: 13,592 S.F. (EQUESTRIAN TRAIL EXCLUDED)
 LANDSCAPE COVERAGE: 26%
 BUILDING AREA:
 C-STORY W/ ATTACHED CARWASH: 4,181 (3,035 C-STORY & 1,146 S.F. CAR WASH)
 CANOPY: 4,312 S.F.

CAR WASH OVER DISTANCE FROM THE RESIDENTIAL NEIGHBORHOODS:
 NORTH PROPERTY LINE: 255.8 FEET
 WEST PROPERTY LINE: 277.7 FEET
 R.O.W. ON THE EAST SIDE WATERMAN ROAD: 259.3 FEET

SHARED PARKING CALCULATIONS
LOT A - STORAGE FACILITY
 REQUIRED PARKING: 4 SPACES
 ACCESSORY OFFICE (220 S.F.) - 4 SPACES PER 1,000 S.F.
 REQUIRED PARKING: 202/1000 = 4 SPACES
 CARWASHER HOUSING (2 BEDROOMS) - 1 SPACE PER BEDROOM
 REQUIRED PARKING: 2 SPACES
 TOTAL PARKING REQUIRED: 10 SPACES
 TOTAL PARKING PROVIDED: 8 SPACES ONSITE (7 OUTDOOR & 1 GARAGE (280 S.F.))
LOT B
 CONVENIENCE STORE (3,035) - 4 SPACES PER 1,000 S.F.
 REQUIRED PARKING: 13 SPACES (INCLUDES 2 EV READY SPACES)
 CAR WASH
 REQUIRED PARKING: 2 SPACES
 TOTAL PARKING REQUIRED: 15 SPACES (INCLUDES 2 EV READY SPACES)
 TOTAL PARKING PROVIDED: 17 SPACES (INCLUDES 2 EV READY SPACES)
 (15 FOR LOT B & 2 SHARED WITH LOT A)
 BICYCLE PARKING REQUIRED: 5% OF 15 REQUIRED VEHICLE SPACES = 1 BICYCLE SPACE
 BICYCLE PARKING PROVIDED: 2 SPACES

CLIMATE ACTION PLAN COMPLIANCE
 DEVELOPMENT IS COMPLIANT WITH ALL APPLICABLE CAP MEASURES, INCLUDING BE-1, BE-2, TACM-3, TACM-6, TACM-8, TACM-9, AND WILL PROVIDE APPROPRIATE DOCUMENTATION AND SUPPORT TO THE CITY OF ELK GROVE PRIOR TO ANY ISSUANCE OF PERMITS.

SIGN TABLE

| NO. | DESCRIPTION | SHEET |
|-----|----------------------------------|-------|
| A | DUAL BRAND MONUMENT SIGN | SPA-1 |
| B | (7-ELEVEN) 36" CHANNEL LETTERS | SPA-2 |
| C | (7-ELEVEN) 30" CHANNEL LETTERS | SPA-2 |
| D | INTERIOR ATM SIGN | SPA-3 |
| E | WINDOW GRAPHICS | SPA-3 |
| F | CAR WASH ENTRY SIGN | SPA-4 |
| G | CAR WASH EXIT SIGN | SPA-4 |
| H | CAR WASH CLEARANCE BAR | SPA-4 |
| I | CAR WASH "NO ENTRY" BAR | SPA-4 |
| J | SHELL CANOPY SIGN | A2.2 |
| K | STORAGE OFFICE CHANNEL LETTERS | A2.3 |
| L | STORAGE BUILDING CHANNEL LETTERS | A2.4 |

CONSUMES FIRE DEPARTMENT NOTES

- PROJECT BUILDINGS SHALL PROVIDE A FIRE CONTROL ROOM FOR EACH FIRE SPRINKLERED BUILDING. THIS ROOM SHALL CONTAIN THE FIRE SPRINKLER ROSE, STOCK OF SPARE SPRINKLERS, FIRE ALARM CONTROL PANEL AND OR ANNUNCIATOR AND POWER BOOSTERS, ETCETERA, AND OTHER RELATED FIRE PROTECTION EQUIPMENT. FOR THE STORAGE FACILITY, PROVIDE A ROOM AT THE OFFICE BUILDING IN WHICH TO HOUSE THE FIRE ALARM PANEL AND/OR ANNUNCIATOR ACCESSIBLE TO THE EXTERIOR BUT ACCESSIBLE TO STAFF.
- ALL REQUIRED, ALL-WEATHER ROADWAYS, FIRE ACCESS LANES, STREET SIGNS, AND ADDRESSES SHALL BE INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT PRIOR TO COMBUSTIBLE CONSTRUCTION FOR EACH PHASE OF THE PROJECT. ALL WEATHER IS DEFINED AS AT LEAST ONE LAYER OF ASPHALT OR CONCRETE THAT IS DESIGNED TO CARRY THE IMPOSED WEIGHT LOAD (80,000LB) OF FIRE APPARATUS.
- ALL GATES AND FIRE ACCESS REQUIREMENTS SHALL MEET THE MINIMUM STANDARDS OF THE CALIFORNIA FIRE CODE AND CONSUMES FIRE DEPARTMENT FOR FIRE ACCESS. CLICK 2 ENTER, KNOX BOXES AND KEY SWITCHES, FREE EXIT LOOP SYSTEMS, BATTERY BACKUP AND MINIMUM 20'-FOOT-WIDE GATE NET CLEARANCE ARE REQUIRED. A SEPARATE PERMIT AND APPLICATION ARE REQUIRED BY THE INSTALLING CONTRACTOR.
- NO BARRIER SHALL BE INSTALLED THAT WILL IMPEDE FIREFIGHTER ACCESS TO THE SOUTH SIDE OF BUILDING "A" & EAST SIDE OF BUILDING "D"

- FIRE LANES SHALL BE CLEARLY MARKED THROUGHOUT IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE AS PROPOSED. SITE CONSTRAINTS WILL PROHIBIT PARKING IN AREAS OTHER THAN IN DESIGNATED PARKING SPACES AND APPROVED DESIGNATED LOADING ZONES NOT LOCATED IN THE FIRE LANE. ACCESS ROADWAY WIDTH: PARKING RESTRICTIONS ON ROADSIDE:
 • LESS THAN 28' NO PARKING EITHER SIDE
 • 28 TO 35' PARALLEL PARKING ONE SIDE ONLY
 • OVER 35' PARKING ALLOWED BOTH SIDES

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BOND ROAD SELF-STORAGE
 NEW CONSTRUCTION
 SW/C BOND & WATERMAN ROAD
 ELK GROVE, CA 95624

REVISIONS

| NO. | DATE | BY |
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| 1 | | |
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ISSUE DATES

DESIGN APPROVAL: 2021-02-02
 PERMIT SUBMITTAL: PERMIT RECEIVED:
 BID DOCS:
 CONSTR. DOCS:

SCALE: AS NOTED
 PLOT DATE: 2021-02-02
 CAD FILE: 18481 SP-1-NEW
 JOB NUMBER: 18-1014
 CHECKED:
 DRAWN: U. CARMONA
 STATUS: PHASE/ISSUES

PRELIMINARY SITE PLAN
SP1.1

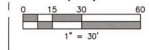
SURVEY EXHIBIT



NO SITE PLAN DEVIATIONS FROM THE CITY OF ELK GROVE STANDARDS PROPOSED

PROJECT DATA

LOCATION: SEC BOND ROAD & WATERMAN ROAD, ELK GROVE, CALIFORNIA
 COMBINED LOT "A" & "B" AREA: 205,696 S.F.
 LOT "A" AREA: #152,889 S.F. (3.51 AC)
 LOT "B" AREA: #52,707 S.F. (1.21 AC)



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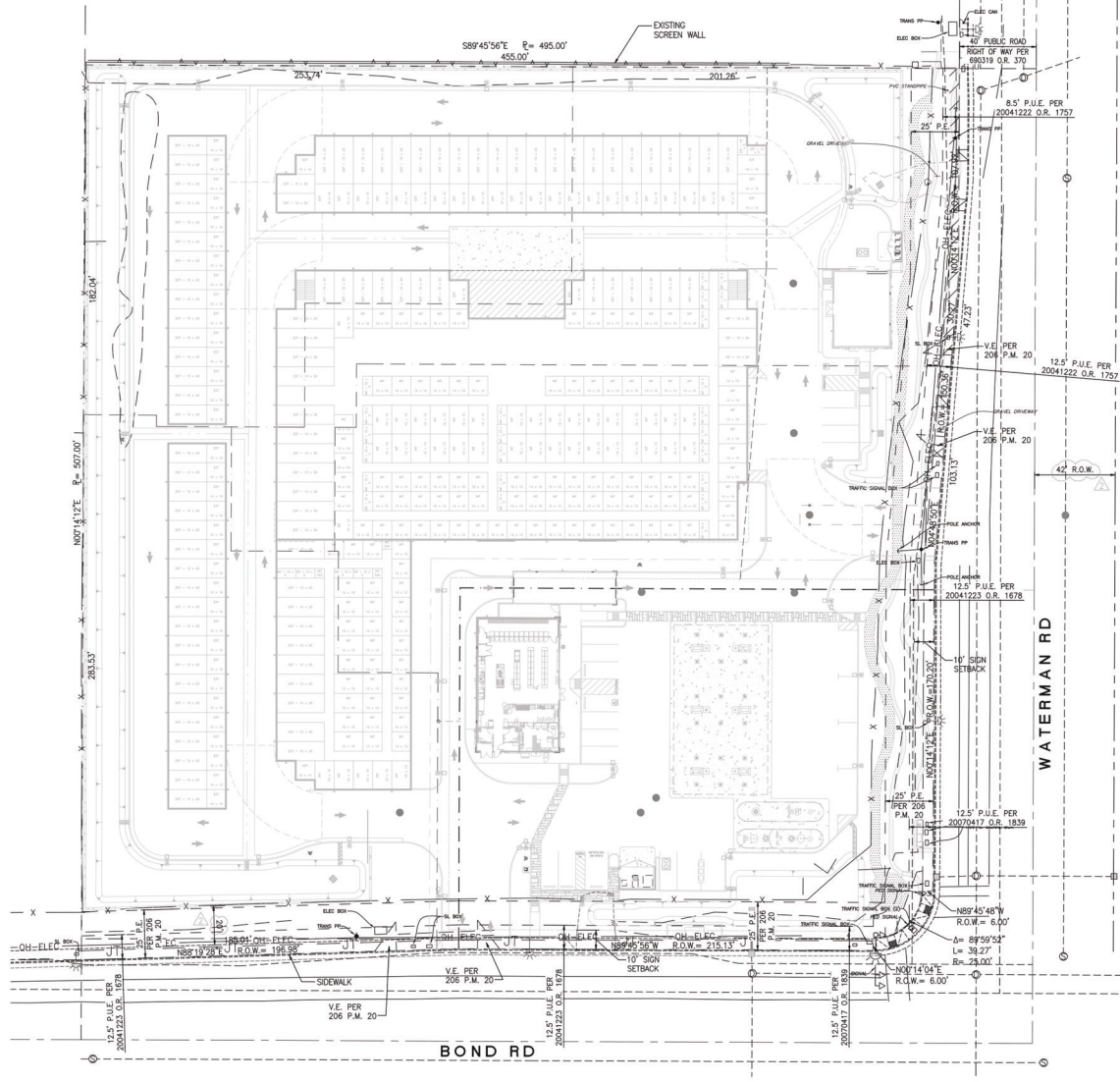
BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
 SWC BOND & WATERMAN ROAD
 ELK GROVE, CA 95624

| REVISIONS | | |
|-----------|------|----|
| NO. | DATE | BY |
| 1 | | |
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| SCALE: | AS NOTED |
|-------------|------------------|
| PLOT DATE: | 2021-02-02 |
| CAD FILE: | 18481 SP-1 - NEW |
| JOB NUMBER: | 18-000 |
| CHECKED: | |
| DRAWN: | U. CARMONA |
| STATUS: | PHASE RESUBMIT |

SURVEY EXHIBIT
SP1.0



EASEMENT LEGEND

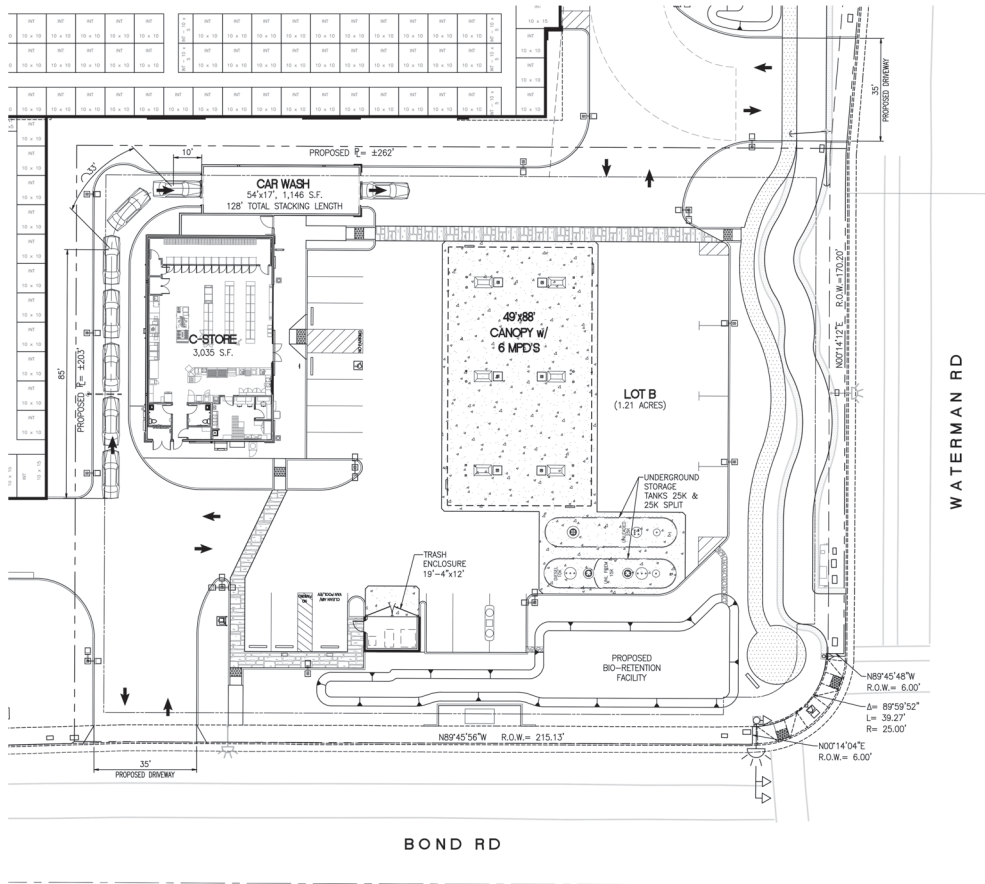
- P.E. PEDESTRIAN EASEMENT
- V.E. VISIBILITY EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- NO INGRESS OR EGRESS RIGHTS LINE PER 206 P.M. 20



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U. Carmona
 (P.S. OR CIVIL ENGINEER LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA)
 09/15/2020
 DATE:
 LICENSED REGISTRATION EXPIRES: 12/31/2021

CAR WASH STACKING EXHIBIT



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BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
SVC BOND & WATERMAN ROAD
ELK GROVE, CA 95624

| REVISIONS | | |
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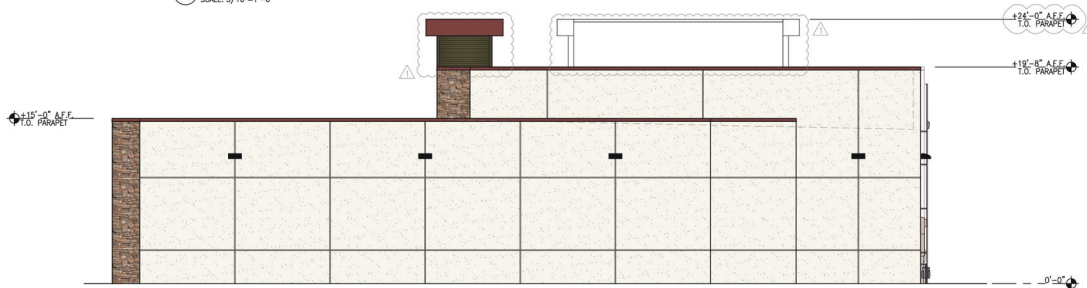
ISSUE DATES:
DESIGN APPROVAL:
PERMIT SUBMITTAL:
PERMIT RECEIVED:
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CONSTR. DOCS:

SCALE: AS NOTED
PLOT DATE: 2017-02-03
CAD FILE: 18481 SP-1-NEW
JOB NUMBER: 18-1314
CHECKED: U. CARMONA
DRAWN: U. CARMONA
STATUS: PHASE /ISSUANCE

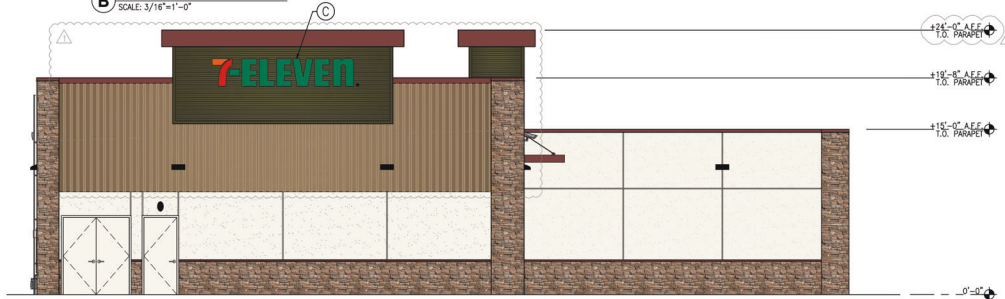
CAR WASH STACKING EXHIBIT
SP1.2



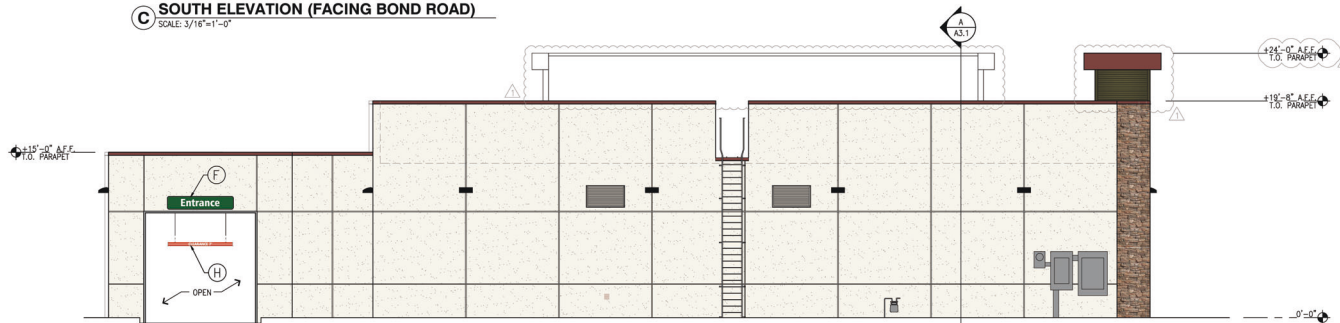
A EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 3/16"=1'-0"



B NORTH ELEVATION
SCALE: 3/16"=1'-0"



C SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 3/16"=1'-0"



D WEST ELEVATION
SCALE: 3/16"=1'-0"

| SQUARE FOOTAGE CALCULATIONS | |
|-----------------------------|-----------|
| ALLOWED | 50 S.F. |
| PROPOSED | 48.1 S.F. |

| CAR WASH SQUARE FOOTAGE CALCULATIONS | |
|--------------------------------------|---------|
| ALLOWED | 17 S.F. |
| PROPOSED | 9 S.F. |

COLOR/ MATERIAL LEGEND

-  MERLEX STUCCO, P-40, "ALABASTER" (B BASE)
-  AEP SPAN METAL, DURA TECH 5000, "COLONIAL RED"
-  BORAL- CULTURED STONE, COUNTRY LEDGESTONE, "HUDSON BAY"
-  AEP SPAN METAL- HORIZONTAL PANEL, MINI-V-BEAM, DURA TECH 5000 "WEATHERED COPPER"
-  AEP SPAN METAL- VERTICAL PANEL, BOX RIB, DURA TECH MX "SIERRA TAN"

| SQUARE FOOTAGE CALCULATIONS | |
|-----------------------------|-----------|
| ALLOWED | 43.4 S.F. |
| PROPOSED | 32 S.F. |

| CAR WASH SQUARE FOOTAGE CALCULATIONS | |
|--------------------------------------|---------|
| ALLOWED | 17 S.F. |
| PROPOSED | 9 S.F. |

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BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
SVC BOND & WATERMAN ROAD
ELK GROVE, CA 95624

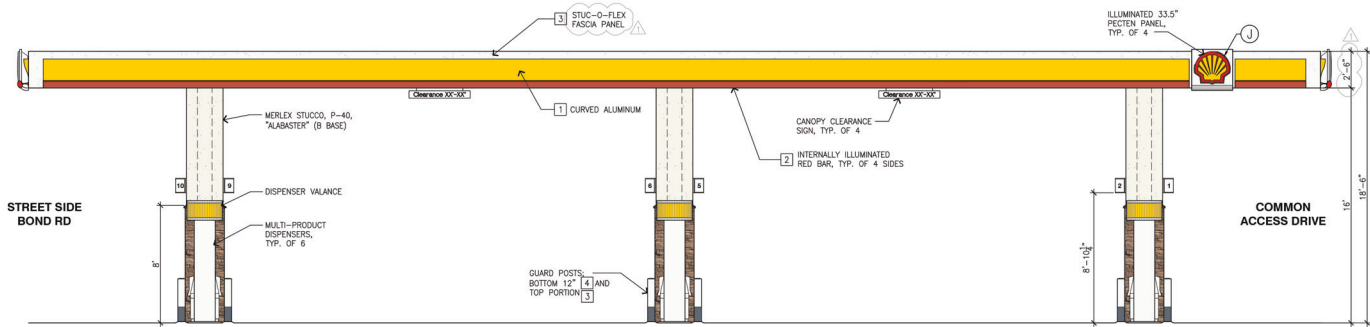
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ISSUE DATES

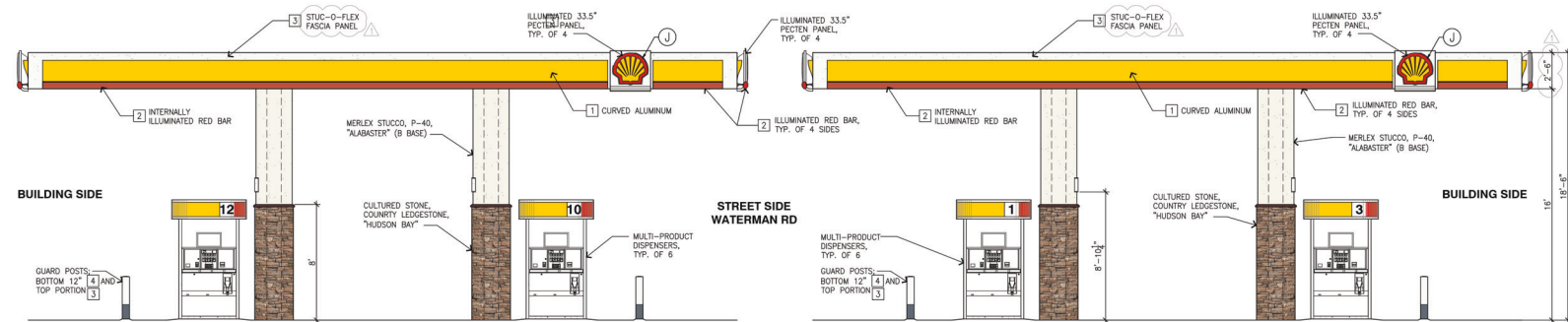
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SCALE: AS NOTED
PLOT DATE: 2018-02-02
CAD FILE: 16481 A2.1 - NEW
JOB NUMBER: 18-033
CHECKED: U. CARMONA
STATUS: PHASE/ISSUANCE

C-STORE EXTERIOR ELEVATIONS
A2.1

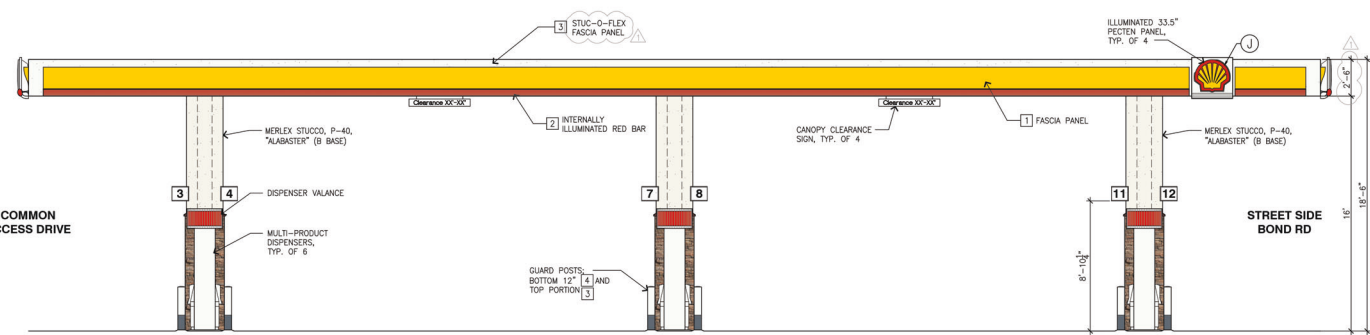


A EAST CANOPY ELEVATION (FACING WATERMAN ROAD)
SCALE: 1/4"=1'-0"



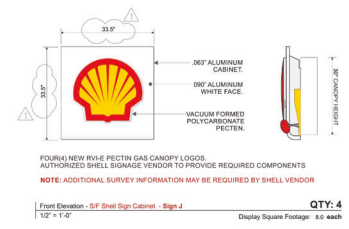
B SOUTH CANOPY ELEVATION (FACING BOND ROAD)
SCALE: 1/4"=1'-0"

C NORTH CANOPY ELEVATION
SCALE: 1/4"=1'-0"



D WEST CANOPY ELEVATION
SCALE: 1/4"=1'-0"

- COLOR/ MATERIAL LEGEND**
- MERLEX STUCCO, P-40, "ALABASTER" (B BASE)
 - AEP SPAN METAL, DURA TECH 5000, "COLONIAL RED"
 - BORAL- CULTURED STONE, COUNTRY LEDGESTONE, "HUDSON BAY"
- 1 SHELL YELLOW PANTONE SHL003 (IF UNAVAILABLE, USE PMS 116C)
 - 2 SHELL RED PANTONE SHL005 (IF UNAVAILABLE, USE PMS 485C)
 - 3 SHELL WARM WHITE RAL 9016
 - 4 SHELL GRAY PANTONE SHL001 (IF UNAVAILABLE, USE PMS 431C)



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BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
1500 E. WATERMAN ROAD
ELK GROVE, CA 95624

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SCALE: AS NOTED
PLOT DATE: 2021-02-02
CAD FILE: 18481 A2 2 - NEW
JOB NUMBER: 18 - XXX
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DRAWN: U. CARMONA
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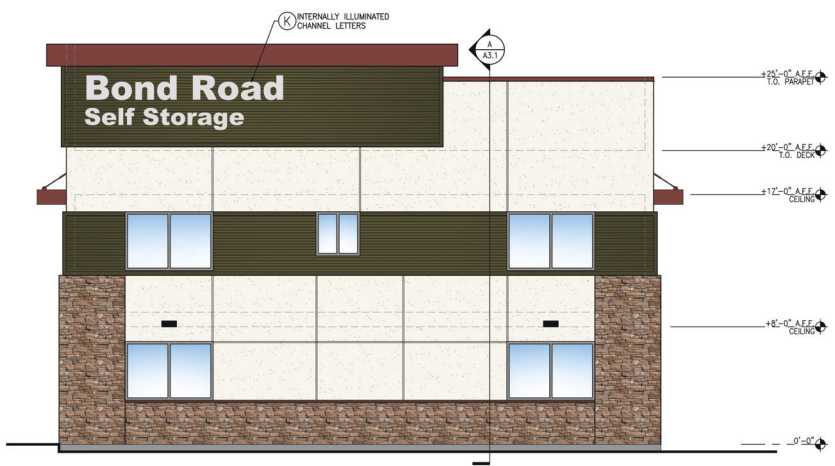
FUEL CANOPY ELEVATIONS
A2.2



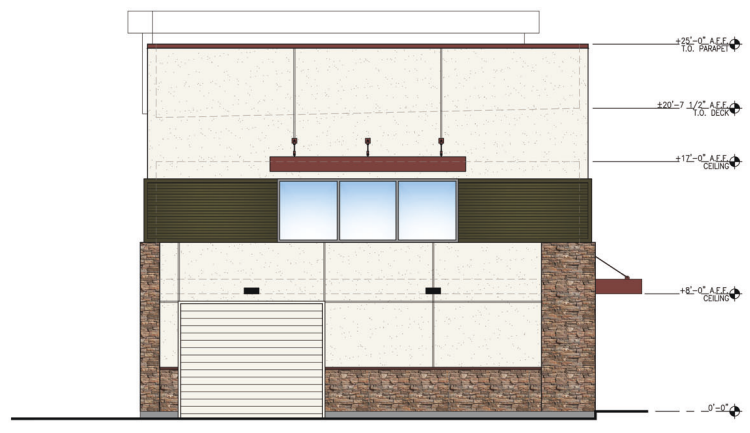
A WEST ELEVATION
SCALE: 1/4"=1'-0"



B SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 1/4"=1'-0"






C EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 1/4"=1'-0"



D NORTH ELEVATION
SCALE: 1/4"=1'-0"

COLOR/ MATERIAL LEGEND

| | |
|---|--|
|  | MERLEY STUCCO, P-40, "ALABASTER" (B BASE) |
|  | AEP SPAN METAL, DURA TECH 5000, "COLONIAL RED" |
|  | AEP SPAN METAL- HORIZONTAL PANEL, MINI-SEAM, DURA TECH 5000 "WEATHERED COPPER" |
|  | BORAL- CULTURED STONE, COUNTRY LEDGESTONE, "HUDSON BAY" |

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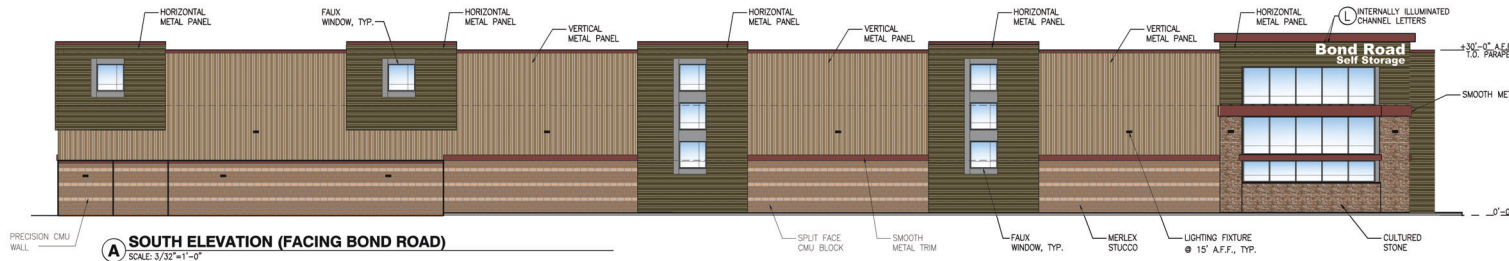
BOND ROAD SELF-STORAGE
NEW CONSTRUCTION
1500 E. WATERMAN ROAD
ELA GROVE, CA 95624

| REVISIONS | | |
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CONSTR. DOCS:

SCALE: AS NOTED
PLOT DATE: 2021-02-02
CAD FILE: 18481 A2.3 - NEW
JOB NUMBER: 18-XXX
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DRAWN: U. CARMONA
STATUS: PHASE/ISSUANCE

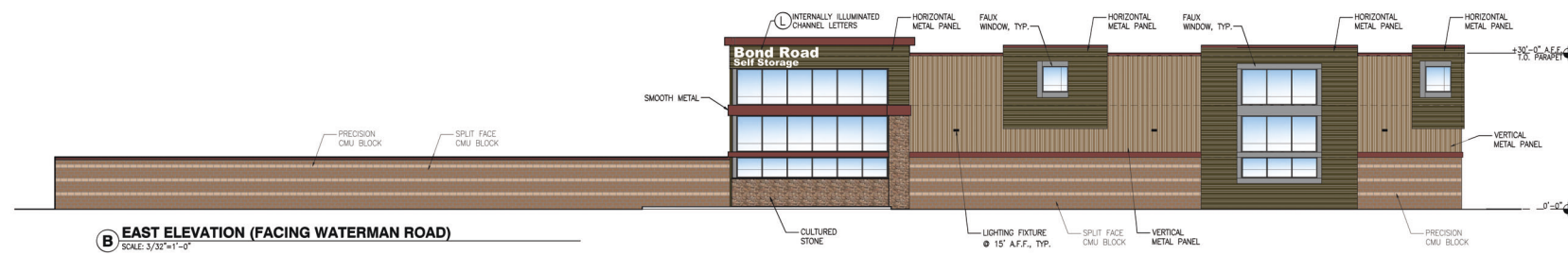
OFFICE BUILDING
EXTERIOR ELEVATIONS
A2.3



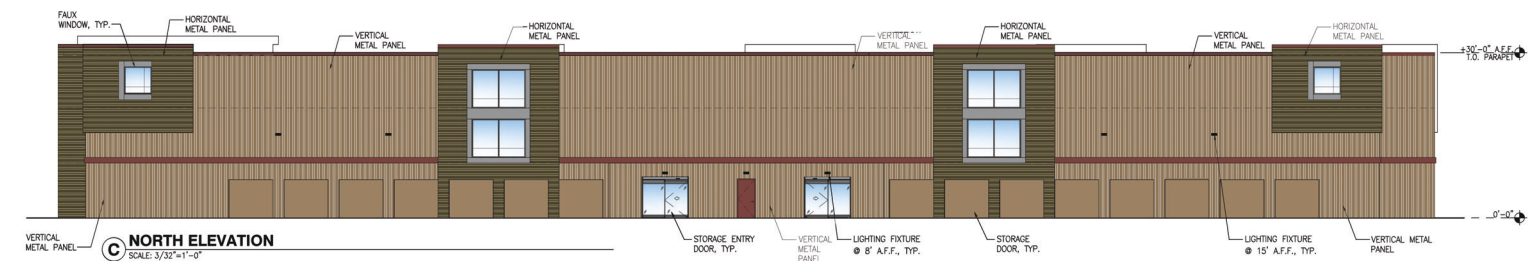
A SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 3/32"=1'-0"

COLOR/ MATERIAL LEGEND

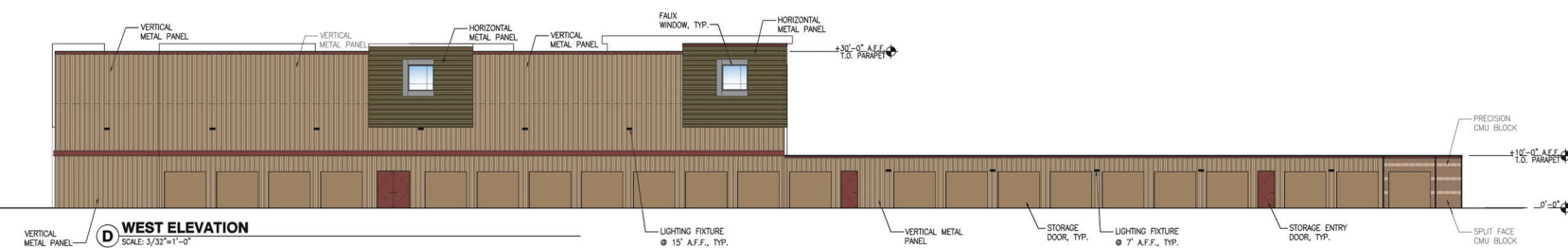
-  AEP SPAN METAL, DURA TECH 5000, "COLONIAL RED"
-  AEP SPAN METAL - HORIZONTAL PANEL, MINI-Y-BEAM, DURA TECH 5000 "WEATHERED COPPER"
-  AEP SPAN METAL - VERTICAL PANEL, BOX RIB, DURA TECH MX "SIERRA TAN"
-  BORAL - CULTURED STONE, COUNTRY LEDGESTONE, "HUDSON BAY"



B EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 3/32"=1'-0"



C NORTH ELEVATION
SCALE: 3/32"=1'-0"



D WEST ELEVATION
SCALE: 3/32"=1'-0"



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SCALE: AS NOTED
PLOT DATE: 10/24/24
JOB FILE: 18481 A2.4 A2.6
JOB NUMBER: NEW
CHECKED: 18-KXX
DRAWN: U. CARMONA
STATUS: PHASE/ISSUANCE

EXTERIOR ELEVATIONS
A2.4

COLOR/ MATERIAL LEGEND

-  MERLEX STUCCO, P-40, "ALABASTER" (B BASE)
-  AEP SPIN METAL- DURA TECH 5000, "COLONIAL RED"
-  AEP SPIN METAL- HORIZONTAL PANEL, MINI-V-BEAM, DURA TECH 5000 "WEATHERED COPPER"
-  AEP SPIN METAL- VERTICAL PANEL, SINK RIB, DURA TECH MK "SIERRA TAN"



A BUILDING "B"- SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 3/32"=1'-0"



B BUILDING "B"- EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 3/32"=1'-0"



C BUILDING "B"- WEST ELEVATION
SCALE: 3/32"=1'-0"



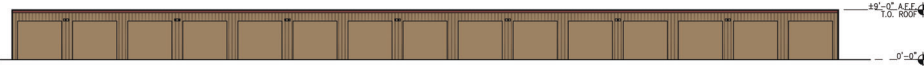
D BUILDING "B"- NORTH ELEVATION
SCALE: 3/32"=1'-0"



E BUILDING "C1"- SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 3/32"=1'-0"



F BUILDING "C1"- NORTH ELEVATION
SCALE: 3/32"=1'-0"



G BUILDING "C1"- EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 3/32"=1'-0"



H BUILDING "C1"- WEST ELEVATION
SCALE: 3/32"=1'-0"



J BUILDING "C2"- SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 3/32"=1'-0"



K BUILDING "C2"- NORTH ELEVATION
SCALE: 3/32"=1'-0"



L BUILDING "C2"- EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 3/32"=1'-0"



M BUILDING "C2"- WEST ELEVATION
SCALE: 3/32"=1'-0"

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BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
SVC BOND & WATERMAN ROAD
ELK GROVE, CA 95624

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| PLOT DATE: | 18481 A2.4 A2.6 |
| DATE: | NEW |
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| DRAWN: | U. CARMONA |
| STATUS: | PHASE/ISSUANCE |

EXTERIOR ELEVATIONS
A2.5

COLOR/ MATERIAL LEGEND

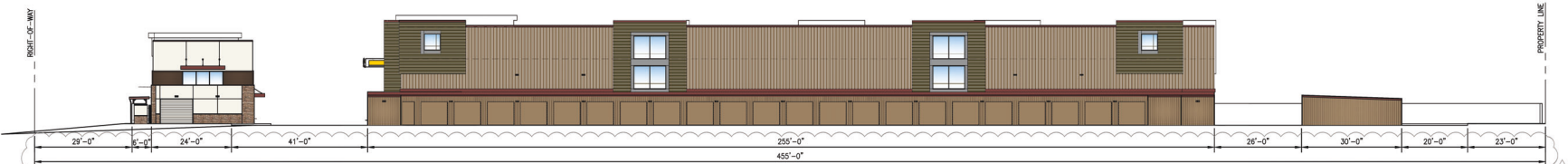
-  CMU SPLIT FACE BLOCK, BASALITE, PROTO II MASONRY #49, MORTAR #264
-  MERLEX STUCCO, P-40, "ALABASTER" (B BASE)
-  AEP SPAN METAL, DURA TECH 5000, "COLONIAL RED"
-  CMU SHORELINE PRECISION FACE BLOCK
-  BORAL - CULTURED STONE, COUNTRY LEDGESTONE, "HUDSON BAY"
-  AEP SPAN METAL - HORIZONTAL PANEL, MINI-Y-BEAM, DURA TECH 5000 "WEATHERED COPPER"
-  AEP SPAN METAL - VERTICAL PANEL, BOX RIS, DURA TECH MK "SIERRA TAN"



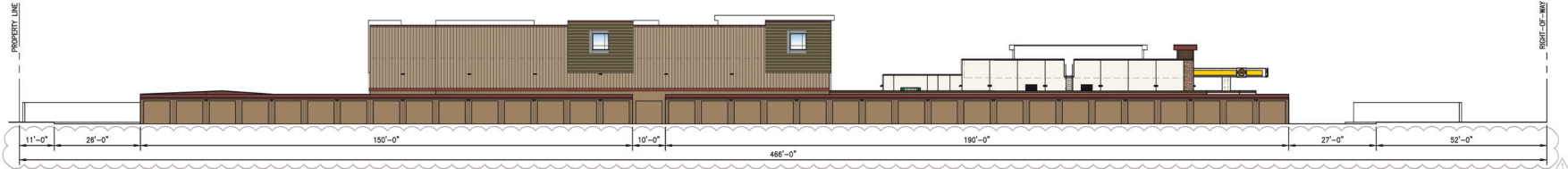
A SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 1/16"=1'-0"



B EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 1/16"=1'-0"



C NORTH ELEVATION
SCALE: 1/16"=1'-0"



D WEST ELEVATION
SCALE: 1/16"=1'-0"

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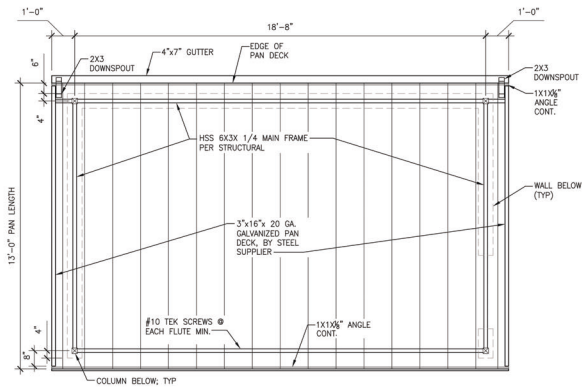
BOND ROAD SELF-STORAGE
NEW CONSTRUCTION
SVC BOND & WATERMAN ROAD
ELK GROVE, CA 95624

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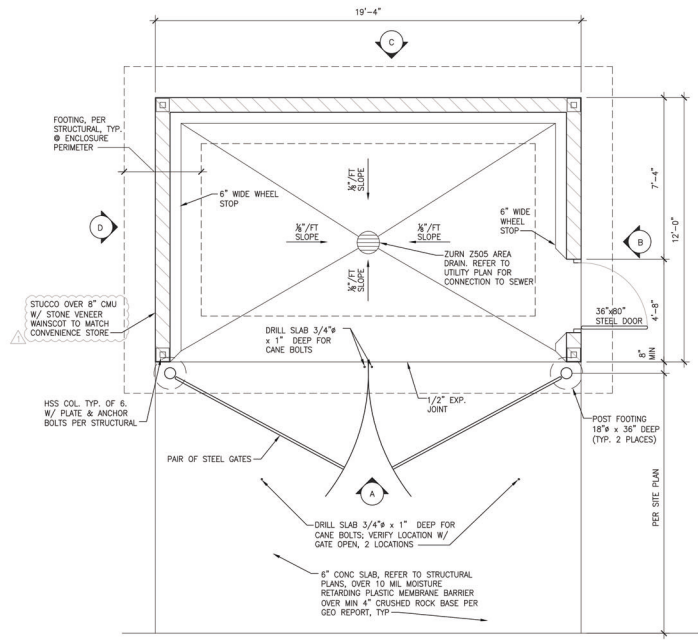
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| PERMIT SUBMITTAL: | |
| PERMIT RECEIVED: | |
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STATUS: PHASE/ISSUANCE

EXTERIOR ELEVATIONS
A2.6



02 TRASH/ RECYCLE ENCLOSURE ROOF PLAN
SCALE: 3/8"=1'-0"



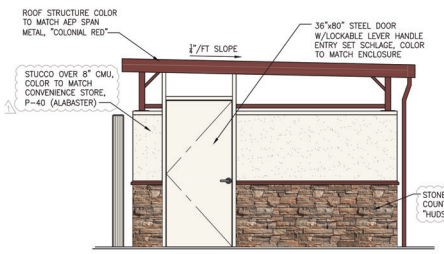
01 TRASH/ RECYCLE ENCLOSURE PLAN
SCALE: 3/8"=1'-0"

DESIGN STATEMENT
THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED, AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER, AND ONE COAT GLOSS POLYURETHANE.

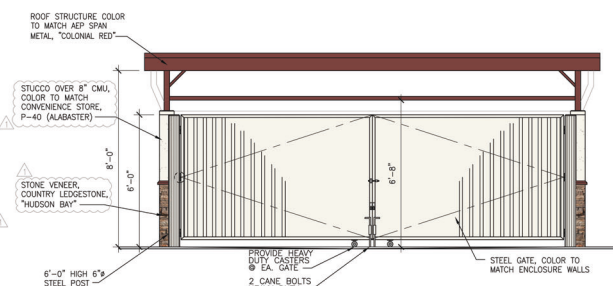
CONCRETE MASONRY SPECIFICATION:
SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS. STRUCTURAL DRAWINGS GOVERN.

COLOR/ MATERIAL LEGEND

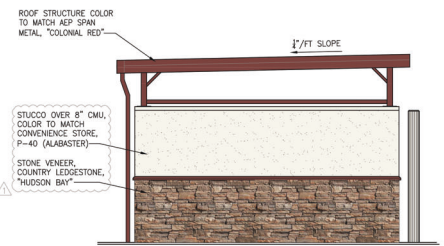
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| | MERLEX STUCCO, P-40, "ALABASTER" (B BASE) |
| | COLOR TO MATCH AEP SPAN METAL, "COLONIAL RED" |
| | BORAL - CULTURED STONE, COUNTRY LEDGESTONE, "HUDSON BAY" |



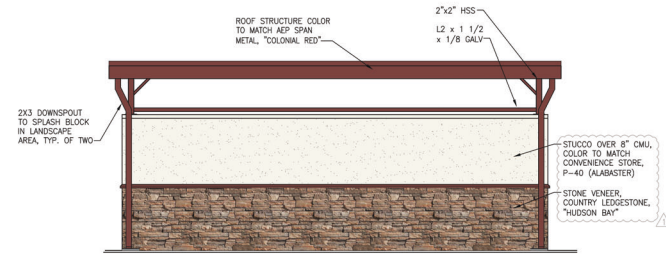
B WEST ELEVATION
SCALE: 3/8"=1'-0"



A NORTH ELEVATION
SCALE: 3/8"=1'-0"



D EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 3/8"=1'-0"



C SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 3/8"=1'-0"

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BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
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FOUNTAIN VALLEY, CA 92708

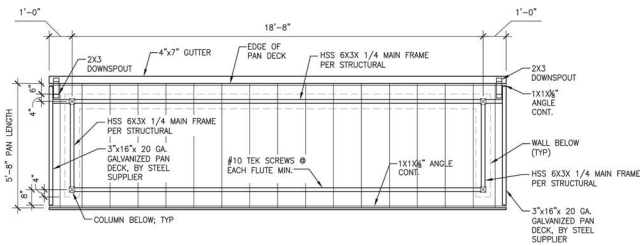
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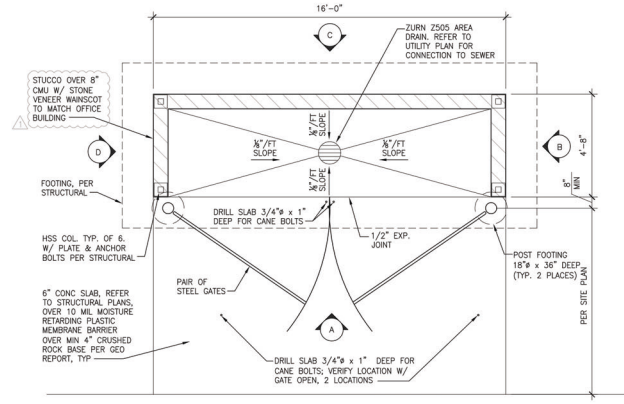
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SCALE: AS NOTED
PLOT DATE: 2021-02-02
JOB FILE: 18481 A2.7 - NEW
JOB NUMBER: 18-XXX
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DRAWN: U. CARMONA
STATUS: PHASE/ISSUANCE

GAS STATION
TRASH ENCLOSURE
A2.7



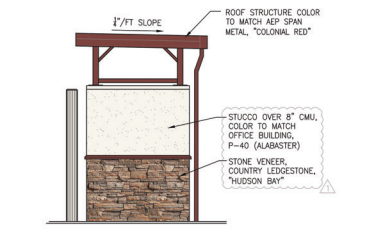
02 TRASH/ RECYCLE ENCLOSURE ROOF PLAN
SCALE: 3/8" = 1'-0"



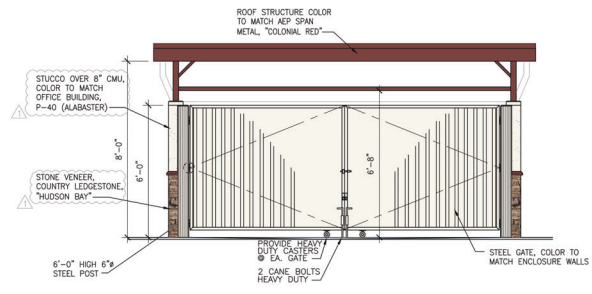
D1 TRASH/ RECYCLE ENCLOSURE PLAN
SCALE: 3/8" = 1'-0"

DESIGN STATEMENT
THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER; AND ONE COAT GLOSS POLYURETHANE.

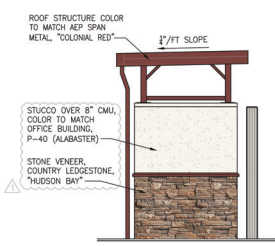
CONCRETE MASONRY SPECIFICATION:
SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS, STRUCTURAL DRAWINGS GOVERN



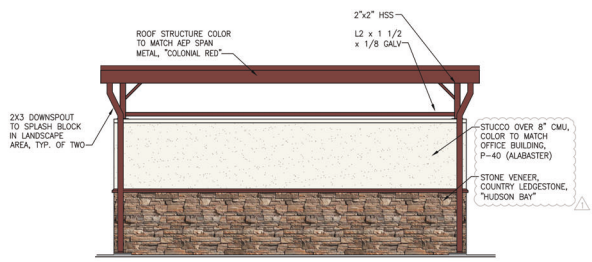
B SOUTH ELEVATION (FACING BOND ROAD)
SCALE: 3/8" = 1'-0"



A WEST ELEVATION
SCALE: 3/8" = 1'-0"



D NORTH ELEVATION
SCALE: 3/8" = 1'-0"



C EAST ELEVATION (FACING WATERMAN ROAD)
SCALE: 3/8" = 1'-0"

COLOR/ MATERIAL LEGEND

| | |
|--|--|
| | MERLEX STUCCO, P-40, 'ALABASTER' (8 BASE) |
| | COLOR TO MATCH AEP SPAN METAL, 'COLONIAL RED' |
| | BORAL - CULTURED STONE, COUNTRY LEDGESTONE, 'HUDSON BAY' |

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BOND ROAD SELF-STORAGE
NEW CONSTRUCTION
5160 BOND & WATERMAN ROAD
ELK GROVE, CA 95624

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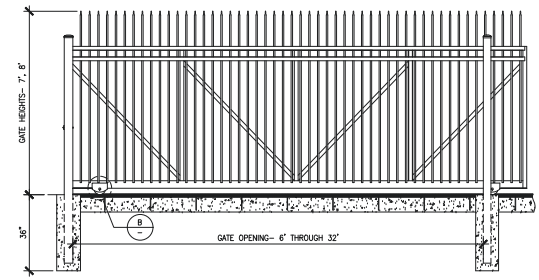
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| CAD FILE: | 18481 A2.8 - NEW |
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| DRAWN: | U CARMONA |
| STATUS: | PHASE 2/ISSUANCE |

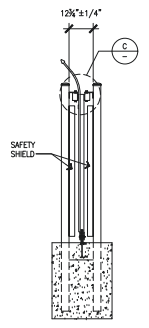
STORAGE/OFFICE
TRASH ENCLOSURE
A2.8



01 GATE PLAN VIEW
SCALE: NTS



02 GATE FRONT ELEVATION
SCALE: NTS

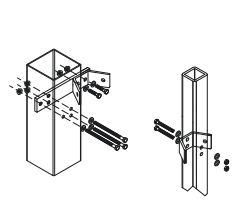


03 GATE SIDE ELEVATION
SCALE: NTS

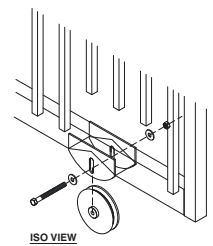
PASSPORT INVINCIBLE COMMERCIAL ORNAMENTAL ROLL GATE

1. ORNAMENTAL PICKETS— 3/4" SQUARE
2. TOP RAIL (S), UPSIDES AND DIAGONAL BRACES— 2" SQUARE
3. BOTTOM RAIL— 2"x4" (NOTCHED AND PLATED FOR V-TRACK WHEELS)
4. ROLL GATE HARDWARE— KIT/PROXD
5. AVAILABLE IN PROFILES OF 2-RAIL, 3-RAIL AND 3-RAIL W/RINGS
6. COLOR: BLACK

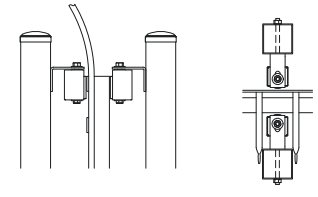
NOTE: VALUES SHOWN ARE NOMINAL AND NOT TO BE USED FOR INSTALLATION PURPOSES. SEE PRODUCT SPECIFICATION FOR INSTALLATION REQUIREMENTS.



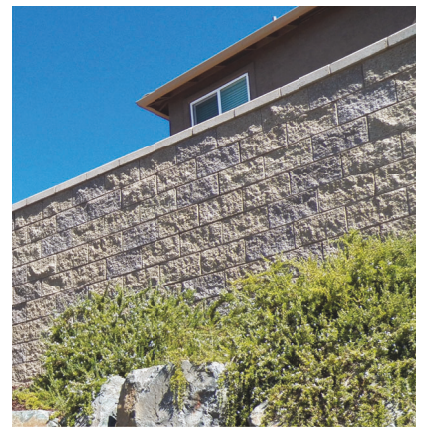
ISO VIEW
A LATCH DETAIL
SCALE: NTS



ISO VIEW
B CASTERS DETAIL
SCALE: NTS



SIDE VIEW
PLAN VIEW
C ROLLER GUIDE DETAIL
SCALE: NTS



04 MASONRY FENCE
SCALE: NTS



SPILT FACE CMU BLOCK:
MFR: BASALITE
SERIES: PROTO S— POST TENSIONED MASONRY
COLOR: #459— STANDARD (MEDIUM WEIGHT BLOCK)
MORTAR COLOR: #264— STANDARD

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BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
SVC BOND & WATERMAN ROAD
ELK GROVE, CA 95824

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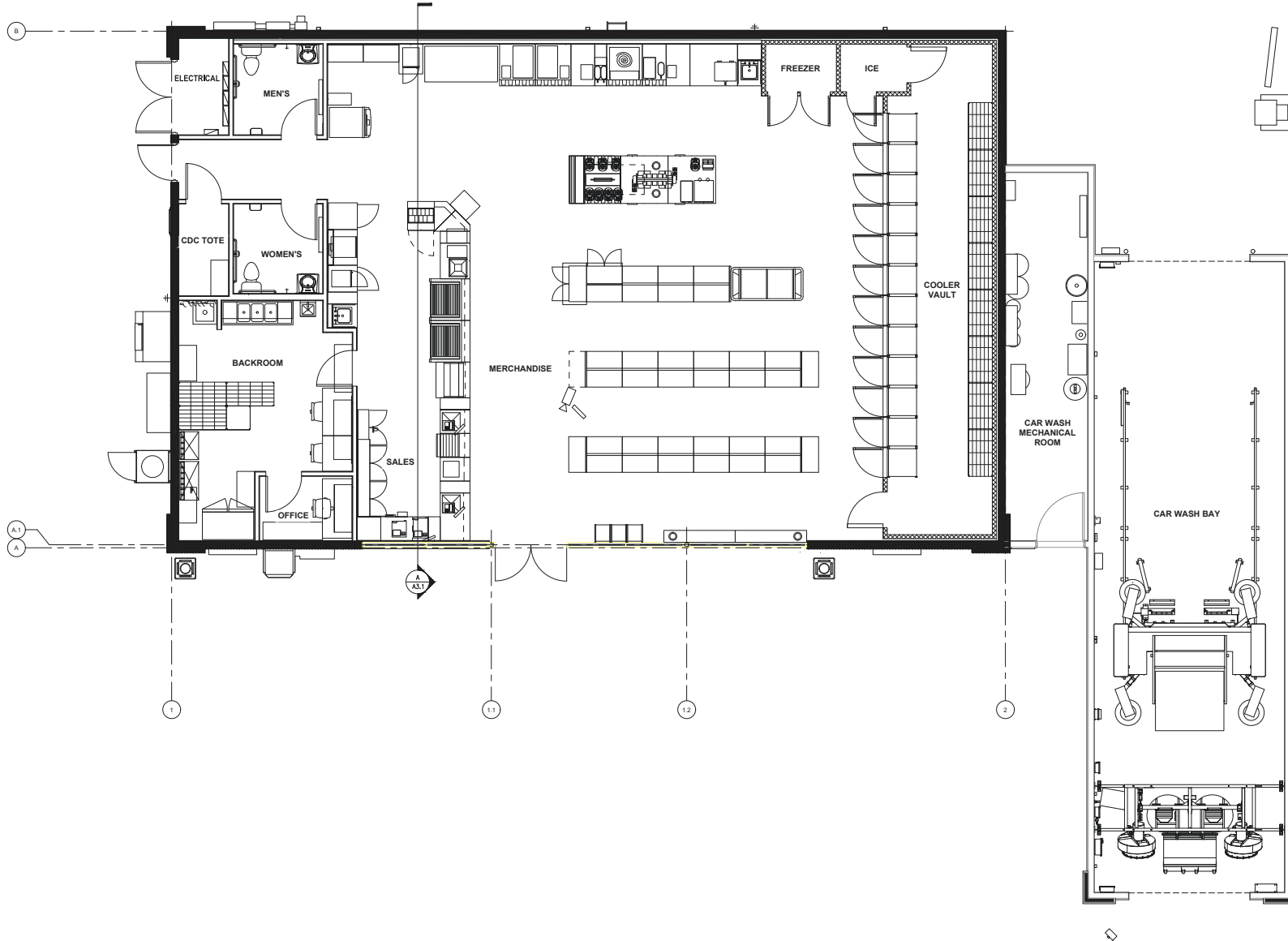
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| CAD FILE: | 18481 SD.1 - NEW |
| JOB NUMBER: | 18-000 |
| CHECKED: | |
| DRAWN: | U. CARMONA |
| STATUS: | PHASE/ASSUANCE |

SITE DETAILS
SD1.1



1 FLOOR PLAN
1/4" = 1'-0"

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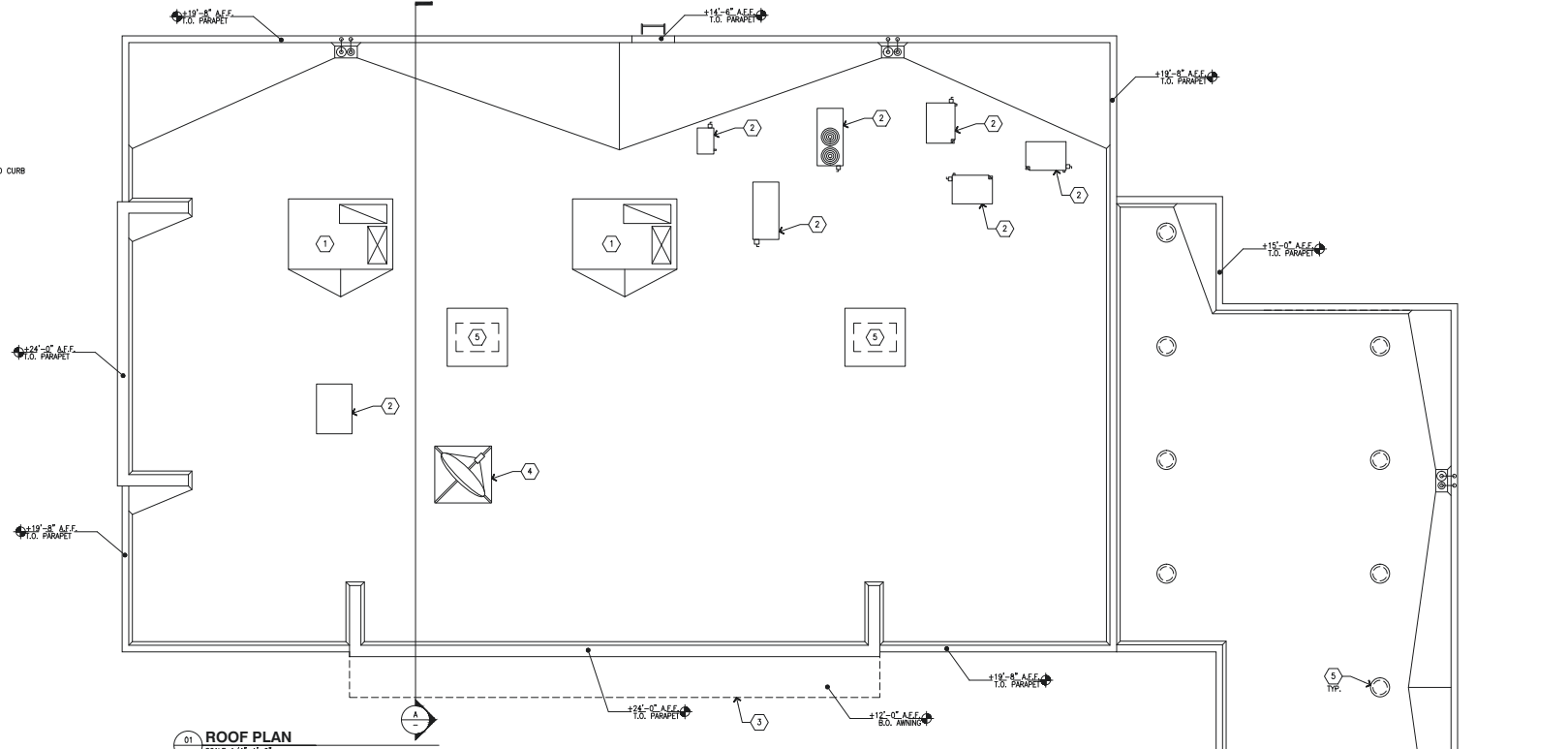
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SCALE: AS NOTED
 PLOT DATE: 2021-02-03
 CAD FILE: 18481 A1.1 - NEW
 JOB NUMBER: 18-000
 CHECKED: U. CARMONA
 DRAWN: U. CARMONA
 STATUS: PHASE/ISSUANCE

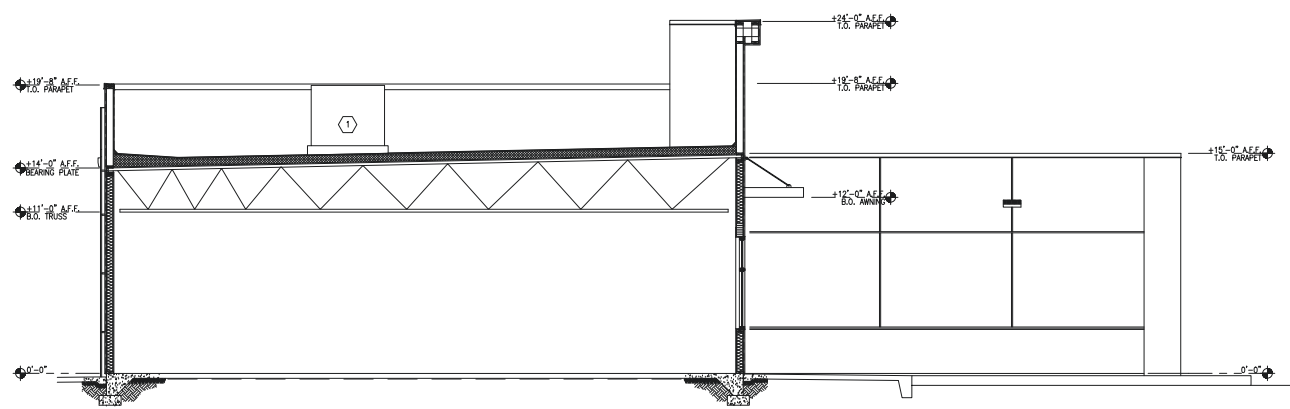
C-STORE FLOOR PLAN
A1.1

KEYED NOTES

- 1 ROOFTOP UNIT
- 2 CONDENSER
- 3 CANOPY BELOW
- 4 SATELLITE ON BALLASTED CURB
- 5 ROOF VENT



01 ROOF PLAN
SCALE: 1/4"=1'-0"



A BUILDING SECTION
SCALE: 1/4"=1'-0"

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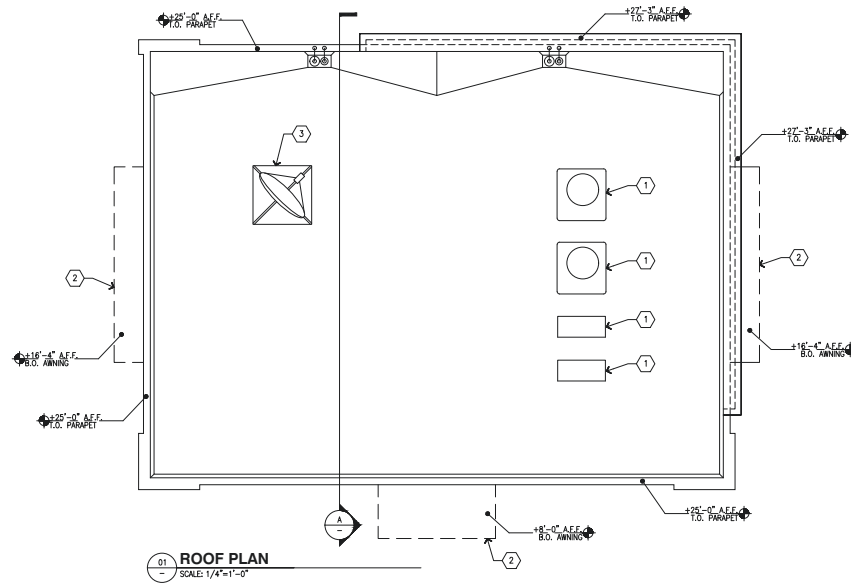
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CAD FILE: 18481 A3.1 - NEW
JOB NUMBER: 18-000
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DRAWN: U. CARMONA
STATUS: PHASE/ASSURANCE

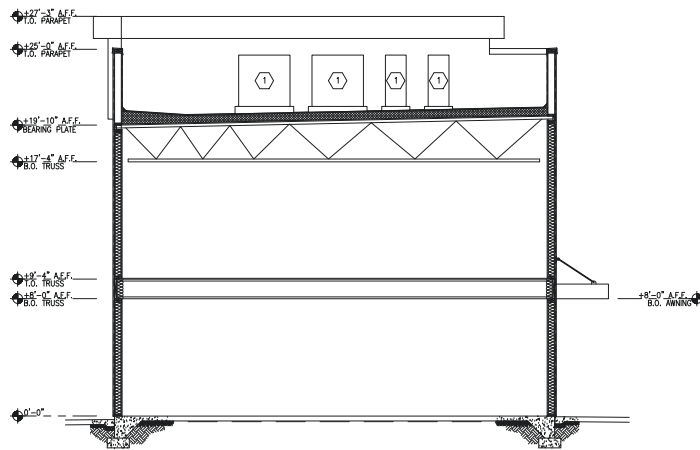
C-STORE ROOF PLAN AND BUILDING SECTION
A3.1

KEYED NOTES

- 1 ROOFTOP UNIT
- 2 CANOPY BELOW
- 3 SATELLITE ON BALLASTED CURB



01 ROOF PLAN
SCALE: 1/4"=1'-0"



A BUILDING SECTION
SCALE: 1/4"=1'-0"

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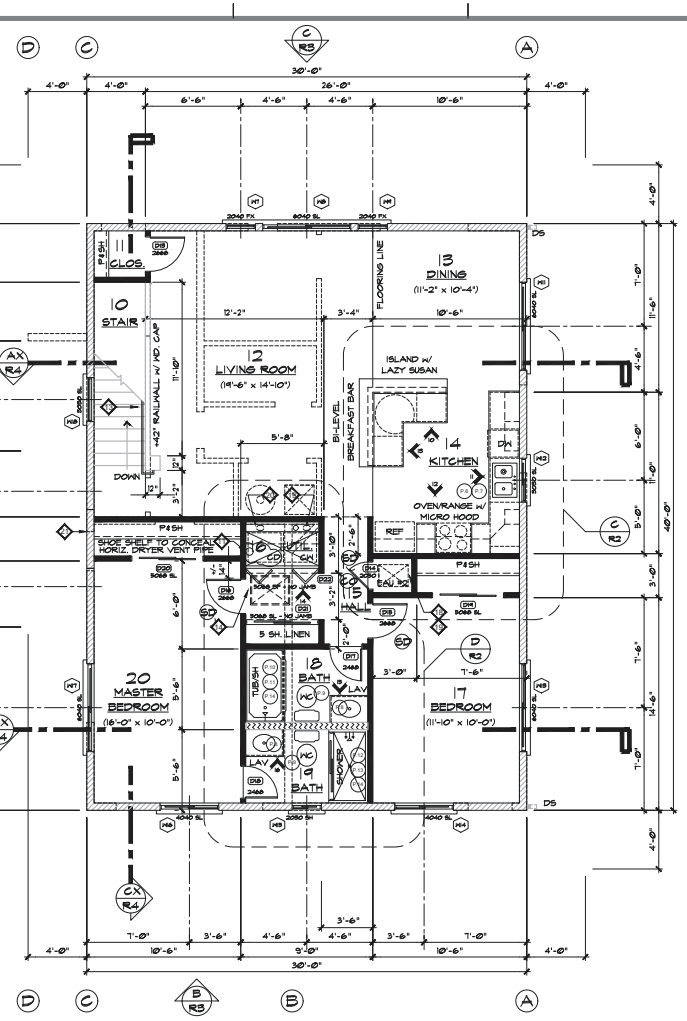
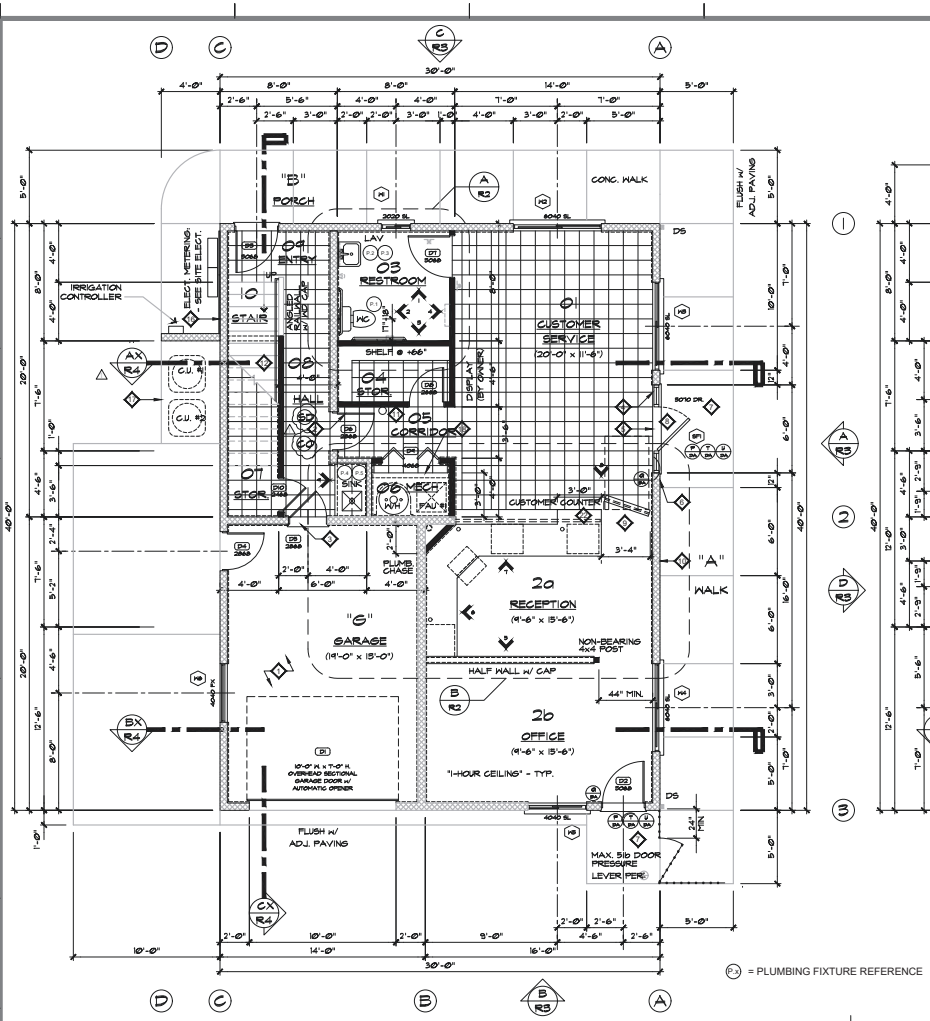
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OFFICE BUILDING ROOF PLAN
AND BUILDING SECTION
A3.2



- FLOOR PLAN LEGEND:**
- 1-HR CONST. BEARING & SEPAR. WALL: 8-1" PL 2x6 STUDS @ 16" MAX.
 - BEARING WALL: 8-1" PL 2x6 STUDS @ 16" MAX.
 - PLUMBING WALL: 2x6 STUDS @ 16" MAX.
 - INTERIOR PARTITION: 2x4 STUDS @ 16" MAX.
 - SOFFIT LINE - AS NOTED
 - FLOORING PATTERN
 - WINDOW- SEE SCHEDULE
 - DOOR- SEE SCHEDULE
 - INTERIOR ELEVATION
 - EXTERIOR ELEVATION
 - BUILDING SECTION
 - STRUCTURE LINE

- GENERAL PLAN NOTES:**
- I. REFER TO CIVIL GRADING AND DRAINAGE PLANS FOR FINISH FLOOR & FLATWORK ELEVATIONS.
 - II. ALL FIRST FLOOR BEARING WALLS & COMPONENTS SUPPORTING THE SECOND FLOOR FRAMING SHALL BE 1-HOUR MIN. CONSTRUCTION.
 - INT. BEARING - CBC T.C. 17.1.3
 - CEILING FLOOR - CBC T.C. 21.1.1
 - III. WALL & CEILING MATERIALS SHALL NOT EXCEED FLAME SPREAD CLASSIFICATION - CBC TABLE 8-B.
 - IV. ALL PENETRATIONS OF FIRE RESISTIVE WALLS, CEILING TO FLOOR AND CEILING TO ROOF ASSEMBLIES TO BE PER CBC 709 & 710.
 - V. BEDROOM EGRESS WINDOWS SHALL HAVE A MIN. OPERABLE PANEL OF 24" HIGH BY 20" WIDE WITH BOT. OF CLEAR OPENING 44" MAX. A.F.F. (TYP)
 - VI. THE TOTAL NUMBER OF EMPLOYEES WILL NOT EXCEED FOUR. THEREFORE, 1-UNEX'T RESTROOM.

- FLOOR PLAN KEY:**
- ◇ PROVIDE 1-HR PROTECTION @ GARAGE, WALLS = 1 LAYER 5/8" TYPE 'X' GWB - FIRE-RATED CEILING = 2 LAYERS 5/8" TYPE 'X' GWB - FIRE-RATED (STAGGER LAYERS 24" MIN.)
 - ◇ 1-HR RATED DOOR ASSEMBLY w/ SELF-CLOSER
 - ◇ 20-MIN. RATED DOOR ASSEMBLY w/ SELF-CLOSER AND GASKETED METAL THRESHOLD.
 - ◇ STOREFRONT ASSEMBLY WITH 3'-0" CLEAR DOOR (EXTERIOR SWING) WITH 2 SIDELIGHTS TO FIT - TEMPERED GLAZING (SEE SHEET 'RS').
 - ◇ PROVIDE SIGN ABOVE OFFICE ENTRANCE: "THESE DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS"
 - ◇ PROVIDE SIGN AT ENTRANCE DOOR(S): INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 - ◇ PROVIDE 60" x 80" MIN. LEVEL LANDING AT ALL CUSTOMER ENTRANCES.
 - ◇ PROVIDE HANICAP ACCESSIBLE THRESHOLDS AT ALL CUSTOMER ENTRANCES.
 - ◇ PROVIDE -32" HIGH x 30" MIN. WIDE SWINGING CABINETRY DOOR. (NO CLOSER)
 - ◇ MAIL RECEIVING SLOT. (SUBMITTAL REQ'D) - PROVIDE BLOCKING AND GASKETS AS REQ'D
 - ◇ FIRE EXTINGUISHER: 2A-10-B-C WALL MOUNTED WITH RED SIGNAGE. MOUNTED 3'-6" AFF.
 - ◇ STAIR CONSTRUCTION: 15 TREADS @ 10" EA. & 16 RISERS @ 4" 7/8"
 - ◇ PROVIDE 1-HR PROTECTION @ STORAGE UNDER HANDRAIL CONSTRUCTION: PAINTED 1-1/2" D. WOOD WITH ALUM. BRACKETS - SEE DETAIL 7/R4
 - ◇ 20" x 30" MIN. WEATHERSTRIPPED ATTIC ACCESS - USE PAINTED M.D.O. WITH WOOD TRIM FRAME.
 - ◇ "EYEBROW" OVERHANG w/ STUCCO UNDERSIDE. - PROVIDE VENTILATION PER SHEET "RS"
 - ◇ PROVIDE CEMENTITIOUS BACKING BOARDS BEHIND ELECTRICAL PANELS PRIOR TO STUCCO TO ALLOW FOR EARLIEST SERVICE INSTALLATION.
 - ◇ MECHANICAL COMPRESSOR UNIT PAD: 12" MIN. CLEAR AROUND UNITS TO WALLS.
 - ◇ MECHANICAL PLATFORMS: SITE BUILT 3/4" PLYWOOD OVER 2x FRAMING 24" HIGH FOR UPFLOW RETURN AIR PLENUM
 - ◇ FORCED AIR UNIT VENTILATION
 - ◇ WATER HEATER VENTILATION CLOTHES DRYER
 - ◇ VENT
 - ◇ 32" AFF. ACCESSIBLE COUNTER



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Sheet Contents MANAGER'S UNIT FLOOR PLAN CODE NOTES BUILDING AREAS

JOB NO. DATE: DPL

Sheet Information JOB NO. 03005-11-R01

R1

1ST FLR. PLAN (OFFICE)

ALL CUSTOMER AND OFFICE USE AREAS SHALL BE ACCESSIBLE PER A.D.A. REQUIREMENTS



2ND FLR. PLAN (RESID.)

1/4"=1'-0"

FLOOR PLAN CODE NOTES:

- A. ALL WINDOWS AND STOREFRONT DOORS SHALL HAVE DUAL GLAZING.
- B. PROVIDE SAFETY GLAZING AT INGRESS/EGRESS DOORS WITH GLASS, AT SLIDING GLASS DOORS (INCLUDING FIXED PANELS), ALL WINDOWS WITHIN A 24" ARC OF A VERTICAL EDGE OF A DOOR AND LESS THAN 60" ABOVE THE WALKING SURFACE, WINDOWS IN EXCESS OF 9 SQ. FT. WHERE THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR AND THE WALKING SURFACE IS WITHIN 36" HORIZ. TO PLANE OF THE GLAZING.
- C. EACH BEDROOM HAS AN EMERGENCY EGRESS WINDOW THAT 1) HAVE A MIN. NET CLR OPENING AREA OF 5.7 SQFT w/ MIN. CLR DIM. OF 24" OPENING HEIGHT & 20" OPENING WIDTH, & THE BOTTOM OF THE CLR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. 2016 CBC SEC. 1030
- D. SMOKE DETECTORS SHALL BE AUDIBLE IN ALL SLEEPING AREAS.
- E. PROVIDE AN 18" HIGH (MIN.) ENCLOSED PLATFORM AT ALL GAS FIRED MECHANICAL EQUIPMENT (IE: FURNACES, WATER HEATERS).
- F. SHOWERS (TUBS) SHALL HAVE WATER RESISTANT GYPSUM BD. (OR EQ.) BEHIND A SMOOTH, NON-ABSORBANT SURFACE (IE: PREMAN SURROUND OR TILE) TO A HEIGHT OF 70" MINIMUM ABOVE THE DRAIN OUTLET.
- G. TUBS AND SHOWERS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIX TYPE WITH POSITION STOPS ON EACH VALVE TO LIMIT THE MIXED WATER TO A MAX. 120° F.
- H. WATER CLOSETS SHALL HAVE A MAX. FLUSHING CAPACITY OF 1.28 GALLONS - PER STATE HEALTH & SAFETY CODE 17921.3(b)

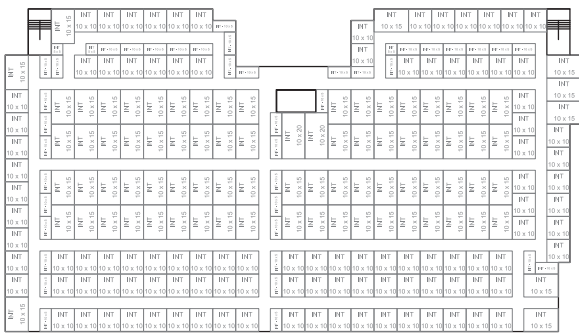
INSULATION

| | |
|--|-------------|
| EXTERIOR WALLS: (BOTH FLOORS) | *R-19 FACED |
| OFFICE CEILING: | R-13 |
| (SOUND DETENTION) | UNFACED |
| OFFICE RESTROOM WALLS: (SOUND DETENTION) | UNFACED |
| RES. ATTIC SPACE: (AT CEILING ENVELOPE) | *R-30 BATT |
| SANITARY SEWER VERTS: (SOUND DETENTION) | SOUND WRAP |

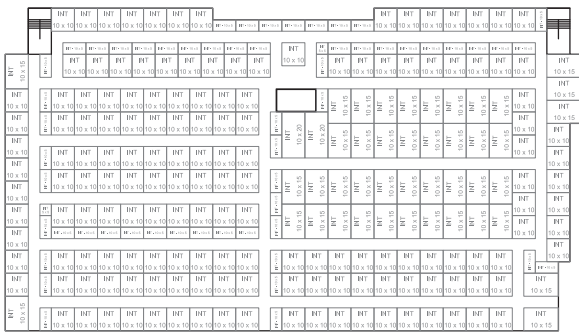
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FLOOR PLAN AREAS (SQ. FT.):

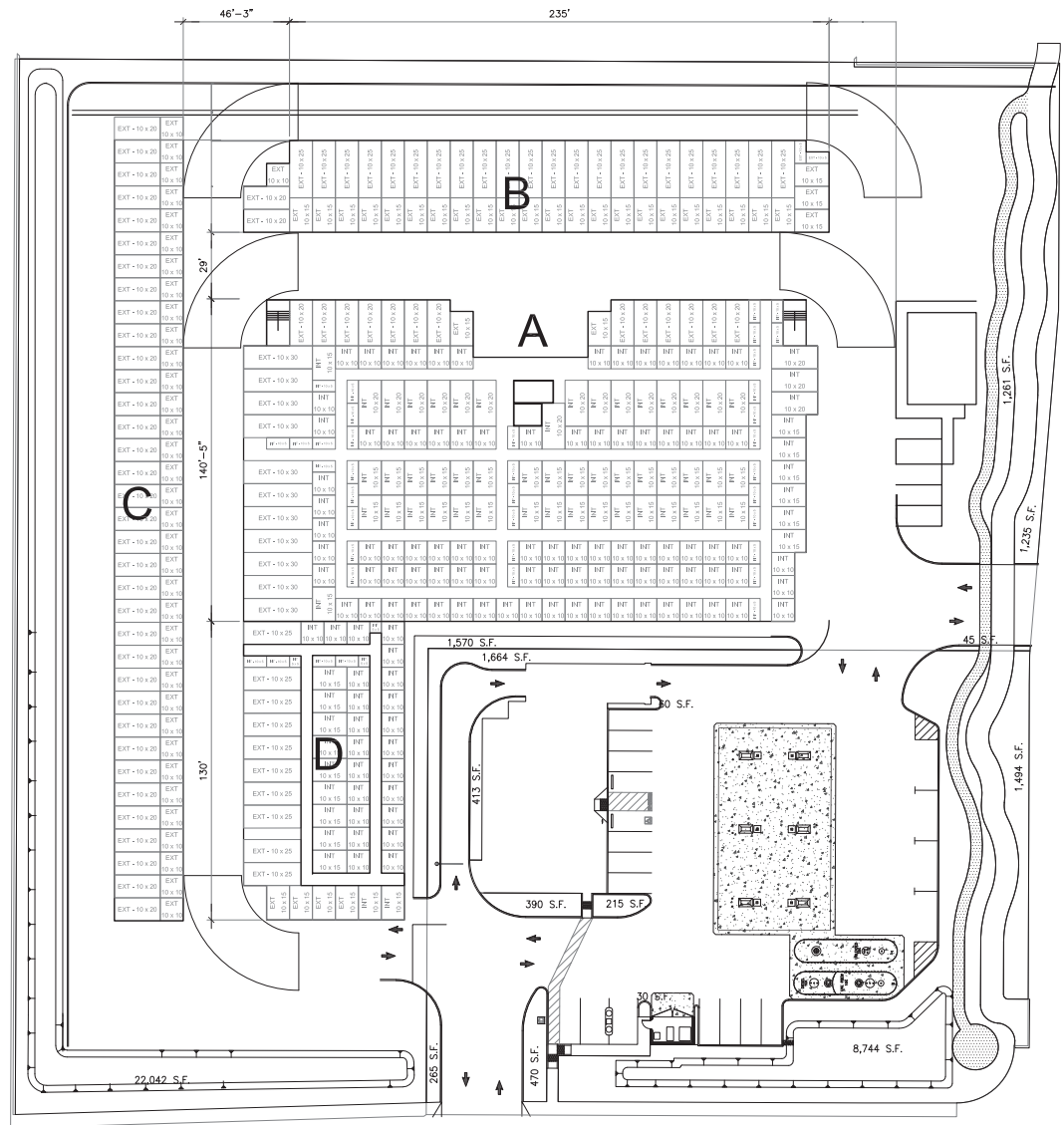
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|------------------------------|-------|-------------------------------------|-------|
| CUSTOMER SERVICE = | 280 | STAIRWELL / CLOSET = | 66 |
| RECEPTION / OFFICE = | 320 | LIVING / DINING / KITCHEN = | 560 |
| RESTROOM / STOR. / MECH. = | 152 | HALL / MECHANICAL / UTILITY = | 81 |
| TOTAL OFFICE (B OCCUPANCY) = | 752 | BEDROOMS / BATHROOMS = | 493 |
| RESIDENCE ENTRY / STAIRS = | 168 | TOTAL 2ND FLR. HABITABLE = | 1,200 |
| TOTAL 1ST FLR. HABITABLE = | 920 | TOTAL ENCLOSED AREA = (BOTH FLOORS) | 2,400 |
| ONE-CAR GARAGE = | 280 | | |
| TOTAL 1ST FLR. ENCLOSED = | 1,200 | UNCOVERED VIEW DECK = | 48 |

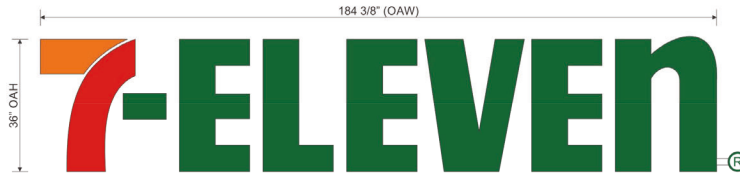


2nd STORY



3rd STORY



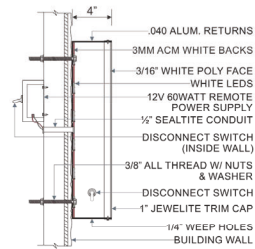


ONE (1) SET OF **CL36REM 36"** INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS.
 3/16" THICK WHITE ACRYLIC FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.
 4" DEEP ALUMINUM RETURNS PRE-PAINTED **313 DURANODIC BRONZE**.
 1" **DURANODIC BRONZE**(JEWELITE) TRIM CAP.
 LETTERS TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: **3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN**
 PAINT SPECS: **313 DURANODIC BRONZE**

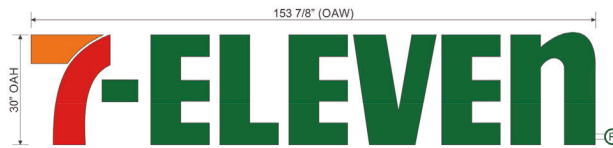
Front View & Side Mounting Detail - **CL36REM 36"** Internally Illuminated Remote Channel Letters - **Sign B**

NTS



(SIDE DETAIL SCALE: 1"= 1'-0")

Display Square Footage: **48.1**

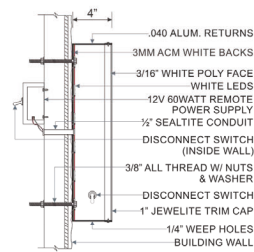


ONE (1) SET OF **CL30REM 30"** INTERNALLY ILLUMINATED REMOTE CHANNEL LETTERS.
 3/16" THICK WHITE ACRYLIC FACES W/ TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.
 4" DEEP ALUMINUM RETURNS PRE-PAINTED **313 DURANODIC BRONZE**.
 1" **DURANODIC BRONZE**(JEWELITE) TRIM CAP.
 LETTERS TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

VINYL SPECS: **3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN**
 PAINT SPECS: **313 DURANODIC BRONZE**

Front View & Side Mounting Detail - **CL30REM 30"** Internally Illuminated Remote Channel Letters - **Sign C**

NTS



(SIDE DETAIL SCALE: 1"= 1'-0")

Display Square Footage: **32.0**

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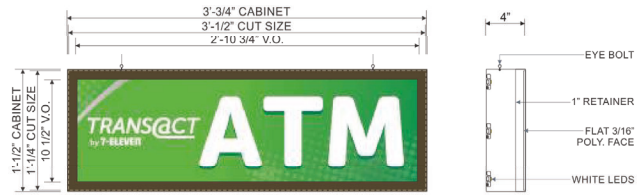
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 Fountain Valley, California 92708
 Tel: (949) 915-9900
 www.magellanassoc.com
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BOND ROAD SELF-STORAGE
 NEW CONSTRUCTION
 SWC BOND & WATERMAN ROAD
 ELK GROVE, CA 95824

| REVISIONS | | |
|-------------------|------|----|
| NO. | DATE | BY |
| △ | | |
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| △ | | |
| △ | | |
| ISSUE DATES | | |
| DESIGN APPROVAL: | | |
| PERMIT SUBMITTAL: | | |
| PERMIT RECEIVED: | | |
| BID DOCS: | | |
| CONSTR. DOCS: | | |

| | |
|-------------|------------------------|
| SIGAL: | AS NOTED |
| PILOT DATE: | 2021-02-01 |
| CAD FILE: | 19448-0001-00-01 - NEW |
| JOB NUMBER: | 18-000 |
| CHECKED: | |
| DRAWN: | U. CARMONA |
| STATUS: | PHASE/ASSURANCE |

SIGN EXHIBIT
SNA-2



ONE (1) **INTERIOR ATM** INTERNALLY ILLUMINATED S/F WINDOW SIGN, 3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS. 4 DEEP ALUM. CABINET & 1" RETAINERS ALL PAINTED 313E DURANODIC BRONZE. SIGN TO HANG INSIDE THE STORE BEHIND GLASS AS INDICATED IN PHOTO OVERLAY WITH EYE BOLTS.

VINYL SPECS: **DIGITALLY PRINTED IMAGE VINYL**
 PAINT SPECS: **313E DURANODIC BRONZE**

NOTE: ATM SIGN TO BE FABRICATED & INSTALLED BY OTHERS

Front Elevation & Side Mounting Detail - **ATM S/F Window Sign - Sign D**
 NTS

Display Square Footage (Cabinet): **3.2**



WINDOW VINYL GRAPHICS.
 VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK.
NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

Front Elevation - **Typical Window Vinyl Graphics - Sign E**
 NTS

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 www.magellananchors.com
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BOND ROAD SELF-STORAGE

NEW CONSTRUCTION
 SVC BOND & WATERMAN ROAD
 ELK GROVE, CA 95824

| REVISIONS | | |
|-------------------|------|----|
| NO. | DATE | BY |
| △ | | |
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| ISSUE DATES | | |
| DESIGN APPROVAL: | | |
| PERMIT SUBMITTAL: | | |
| PERMIT RECEIVED: | | |
| BID DOCS: | | |
| CONSTR. DOCS: | | |

| | |
|-------------|-------------------|
| SIGAL: | AS NOTED |
| PLOT DATE: | 2021-02-01 |
| CAD FILE: | 19448-02-01-00-01 |
| JOB NUMBER: | 18-000 |
| CHECKED: | |
| DRAWN: | U. CARMONA |
| STATUS: | PHASE/ASSURANCE |

SIGN EXHIBIT
SNA-3

| Date | Rev. | Description |
|----------|------|---|
| 11.28.18 | 00 | Original |
| 12.10.19 | R1 | Update to add site plan & building elevs. |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ZONING: xxx

SQUARE FOOTAGE FORMULA

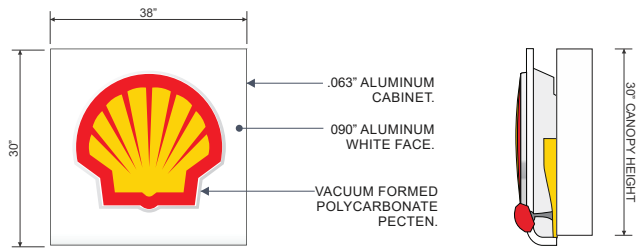
Customer Notes:

Customer Approval: _____ DATE: _____

Page: 8



THE STRUCTURAL DESIGN CONFORMS TO THE FOLLOWING CODES AND SPECIFICATIONS:
THE FLORIDA BUILDING CODE SIXTH EDITION (2007), THE AMERICAN INSTITUTE OF STEEL
CONSTRUCTION/MANUAL OF STEEL CONSTRUCTION, FIFTH EDITION, THE AMERICAN WELDING
SOCIETY (AWS) D11.1, THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS
FOR STRUCTURAL CONCRETE (318M), THE SPECIFICATION FOR ALUMINUM STRUCTURES
BY THE ALUMINUM ASSOCIATION (CURRENT EDITION).



FOUR(4) NEW RV-E PECTIN GAS CANOPY LOGOS.
AUTHORIZED SHELL SIGNAGE VENDOR TO PROVIDE REQUIRED COMPONENTS

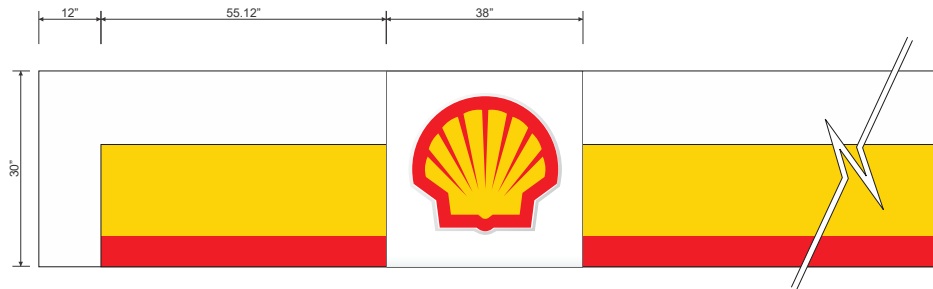
NOTE: ADDITIONAL SURVEY INFORMATION MAY BE REQUIRED BY SHELL VENDOR

Front Elevation - S/F Shell Sign Cabinet - Sign J

QTY: 4

1/2" = 1'-0"

Display Square Footage: **10.0 each**



AUTHORIZED SHELL SIGNAGE VENDOR TO PROVIDE REQUIRED COMPONENTS

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF SHELL.

Typical Canopy Sign & Fascia Layout

1/2" = 1'-0"

Exhibit C
Bond and Waterman Shell with 7-Eleven and Storage Facility (APLA21-001)
Conditions of Approval

| <u>Conditions of Approval</u> | | <u>Timing/ Implementation</u> | <u>Enforcement/ Monitoring</u> | <u>Verification (date and Signature)</u> |
|-------------------------------|--|-----------------------------------|---|--|
| ON-GOING | | | | |
| 1. | Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference. Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body. | On-Going | Planning | |
| 2. | This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures. | On-Going | Planning | |
| 3. | The Applicant, or Successors in Interest (hereinafter referred to as the Applicant) shall indemnify, protect, defend, and hold harmless the City, its officers, officials, agents, employees, and volunteers from and against any and all claims, damages, demands, liability, costs, losses or expenses including without limitation court costs, reasonable attorney's fees and expert witness fees arising out of this Project including challenging the validity of this Application/permit or any environmental or other documentation related to approval of this application. | On-Going | Planning | |
| 4. | Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Elk Grove, specifically including but not limited to the following: <ul style="list-style-type: none"> • EGMC Chapter 23 (Zoning Code) • EGMC Chapter 14.10 (Water Efficient Landscape Requirements) • EGMC Title 16 (Building and Construction) • EGMC Title 22 (Land Development) | On-Going | Planning | |
| 5. | The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Standards, as further conditioned herein, and to the satisfaction of the City. Public sewer, water, and other utility infrastructure shall be designed and constructed with the standards of the appropriate utility. | On-Going | Engineering SCWA EGWD SASD SMUD PG&E | |

| <u>Conditions of Approval</u> | | <u>Timing/ Implementation</u> | <u>Enforcement/ Monitoring</u> | <u>Verification (date and Signature)</u> |
|--------------------------------------|--|--|---|---|
| 6. | The Applicant shall pay all plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SASD), Elk Grove Water District (EGWD), Sacramento County Water Agency (SCWA), or other agencies or services providers as established by law. | On-Going | Planning Engineering Building CCSD EGWD SWCA SASD | |
| 7. | Approval of this Project does not relieve the Applicant from the requirements of subsequent permits and approvals, including but not limited to the following as may be applicable: <ul style="list-style-type: none"> • Grading Permit and Improvement Plans • Building Permit and Certificate of Occupancy • Requirements of the Sacramento Metropolitan Air Quality Management District • Fire Department review for permits and/or occupancy | On-Going | Planning Engineering Building CCSD EGWD SCWA SASD | |
| 8. | The trash enclosures shall be locked when not in use and well maintained at all times. | On-Going | Code Enforcement Planning | |
| 9. | As to any fee, dedication, reservation or exaction established by these conditions of approval that are subject to the Mitigation Fee Act, notice is hereby given pursuant to California Government Code Section 66020(d) that the 90-day period in which you may protest the fees set forth herein has begun to run as of the date of approval of this Project. Other limitations periods may apply. The City reserves all rights. | On-Going | Planning | |

| <u>Conditions of Approval</u> | | <u>Timing/ Implementation</u> | <u>Enforcement/ Monitoring</u> | <u>Verification (date and Signature)</u> |
|--------------------------------------|--|--|---------------------------------------|---|
| 10. | <p>The Planning Division shall be notified immediately if any prehistoric, archaeological, or paleontologic artifact is uncovered during construction. All construction must stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained to evaluate the finds and recommend appropriate action.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p> | <p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.</p> <p>Monitoring shall be On-Going</p> | Planning | |
| 11. | <p>All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in State CEQA Guidelines Section 15064.5 (d) and (e) shall be followed.</p> <p>A note stating the above shall be placed on the Improvement Plans.</p> | <p>On-Going and Prior to Improvement Plans or Grading Permit(s), whichever occurs first.</p> <p>Monitoring shall be On-Going</p> | Planning | |
| 12. | <p>Signage is not approved with this Application. Future signs shall be reviewed under a separate Sign Permit application and shall comply with the development standards (EGMC Chapter 23.62) for signs in effect at the time of submittal in order to be approved.</p> | On-Going | Planning | |
| 13. | <p>The Project shall comply with the lighting requirements set forth in EGMC Chapter 23.56.</p> | On-Going | Planning | |

| <u>Conditions of Approval</u> | | <u>Timing/ Implementation</u> | <u>Enforcement/ Monitoring</u> | <u>Verification (date and Signature)</u> |
|--------------------------------------|---|--|---|---|
| 14. | Pursuant to EGMC Chapter 9.17, the City may require that the Applicant provide a security plan for the Project, including, but not limited to, on-site security provided by a private operator or private security service, in order to protect the public safety and to reduce the added costs to the City which result from a need for police protection which exceeds that which would be considered normal and reasonable. If the Police Department receives an excessive number of calls for service to this location, the Chief of Police may require the submittal of a safety and security plan including, but not limited to, modifications to operations, design, and hours of operation. | On-Going | Police Planning | |
| 15. | Hours of operation of the car wash shall be limited to the hours of 7:00 AM to 10:00 PM. | On-Going | Planning | |
| 16. | All vacuums related equipment shall be turned off during non-operational hours. | On-Going | Planning | |
| 17. | All outdoor speakers and video/audio at pump stations shall be turned off daily between the hours of 10:00 PM and 7:00 AM. | On-Going | Planning | |
| 18. | Outdoor maintenance and repair of vehicles and/or equipment is prohibited. | On-Going | Planning | |

| PRIOR TO IMPROVEMENT PLANS | | | | |
|-----------------------------------|--|--|--------------------|--|
| 19. | The Applicant shall provide two connections to the public water system to service the Project. The Applicant shall coordinate with Sacramento County Water Agency and with Elk Grove Water District. | Improvement Plans | EGWD SCWA | |
| 20. | The Applicant shall be responsible for all costs involved in the extension of any water mains or other water utilities infrastructure to serve this Project as required by the Elk Grove Water District. | Improvement Plans | EGWD | |
| 21. | All improvements related to water utilities infrastructure shall conform to the most current version of the Elk Grove Water District (EGWD) Standard Construction Specifications and Standard Detail Drawings. | Improvement Plans | EGWD | |
| 22. | The Applicant shall notify EGWD 48 hours in advance so that EGWD can provide onsite supervision for all service line taps and tee cut-ins on EGWD-owned infrastructure. | Improvement Plans | EGWD | |
| 23. | All permit fees and related costs shall be paid in full before EGWD will provide water service. | Improvement Plans | EGWD | |
| 24. | The Applicant shall be responsible for notifying EGWD upon the completion of installing all meter boxes and meter setters. After receiving this notification, EGWD will then bill the Applicant the cost of meters per the most currently dated Ordinance governing the charges for water meters. After receiving full payment for the meters, EGWD shall install the meters. | Improvement Plans | EGWD | |
| 25. | The Applicant shall construct the fuel facility and personal storage facility in accordance with the City's Climate Action Plan (CAP) for nonresidential construction pursuant with the CAP checklist submitted with the application. This includes compliance with the following CAP measures: <ul style="list-style-type: none"> • BE-4. Energy Efficiency • BE-7. Solar Photovoltaics System Readiness • TACM-3. Transportation Demand Management Plan • TACM-6. Vehicle Miles Traveled Threshold • TACM-8. Tier 4 Final Construction Equipment • TACM-9. Electric Vehicle Supply Equipment | Improvement Plans (to be included as notes on all project plans) | Planning | |
| 26. | Bike parking shall comply with the EGMC Section 23.58.100. | Improvement Plans | Planning SMAQMD | |

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|-----|---|--|-----------------------------|--|
| 27. | A final landscape plan shall be required pursuant to EGMC Chapter 23.54 (Landscaping). Such plan shall be prepared by a landscape architect registered to practice in the State of California. Changes to approved landscaping or irrigation plans shall not be made without prior written approval of the Development Services Director. The construction/installation of landscape and irrigation improvements shall be accomplished in compliance with the approved plans as a prerequisite to any final approval/clearance of the use or development to which it relates. | Improvement Plans | Planning | |
| 28. | The Applicant shall prepare and submit a drainage study to the satisfaction of the City and in accordance with City of Elk Grove Storm Drainage Master Plan, Improvement Standards, General Plan, and any other applicable drainage master plans or studies. | Improvement Plans or Grading Permit(s), whichever occurs first | Engineering Public Works | |
| 29. | The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the City of Elk Grove Improvement Standards and most recent version of the Stormwater Quality Design Manual for the Sacramento Region. The Applicant shall also submit a separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed. | Improvement Plans or Grading Permit(s), whichever occurs first | Engineering Public Works | |
| 30. | Low-Impact Development (LID) and Hydromodification features adopted in the Stormwater Quality Design Manual for the Sacramento Region must be implemented for the Project. All the designs shall be consistent with the design examples prescribed in the latest version of the Stormwater Quality Design Manual. | Improvement Plans or Grading Permit(s), whichever occurs first | Engineering Public Works | |
| 31. | The Applicant shall obtain clearance letters from the applicable entities for any sign located within an easement, including a Utility Easement. | Improvement Plans | Engineering | |
| 32. | The Applicant shall execute a maintenance agreement with the City for stormwater quality control treatment devices to the satisfaction of the City. | Improvement Plans | Engineering | |
| 33. | The Applicant shall design and construct a concrete bus pad and shelter on Bond Road within 200 feet of the intersection of Bond Road and Waterman Road in accordance with the City Standards and to the satisfaction of the City. | Improvement Plans | Engineering Public Works | |
| 34. | All water lines shall be located within a public right-of-way or within easements dedicated to SCWA. Easements shall be reviewed and approved by SCWA prior to Improvement Plan approval. | Improvement Plans | SCWA | |

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|-----|--|-------------------|----------|--|
| 35. | The Applicant shall destroy all abandoned wells on the Project in accordance with the requirements of the Sacramento County Environmental Health Division. Provide notes on improvement plans. Prior to abandoning any existing wells, applicant shall use water from wells for grading and construction. | Improvement Plans | SCWA | |
| 36. | No water supply mains shall be located under structures such as box culverts and bridges. | Improvement Plan | SCWA | |
| 37. | Each building on each lot with sewer source to have a separate connection to SASD's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel must have a separate connection to a private onsite sewer line or a separate connection to SASD public sewer line. | Improvement Plans | SASD | |
| 38. | Lower laterals must not be directly connected to trunk lines (lines with flow greater than 1 MGD). Connection to the public system must be at the 8-inch line in Waterman Road or at a manhole. | Improvement Plans | SASD | |
| 39. | The Project is subject to the Mitigation Monitoring and Reporting Program (MMRP) of the General Plan Environmental Impact Report (SCH#201706205). The Applicant shall record the MMRP with the Project site, and submit proof of recordation, prior to acceptance of improvement plans. | Improvement Plans | Planning | |
| 40. | Until the MMRP deposit of \$5,000 has been paid and all MMRPs have been recorded with the County Recorder against the subject property, no grading, building, sewer connection, water connection, or occupancy permit from the City will be approved. | Improvement Plans | Planning | |

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|--|--|--|----------|--|
| 41. | <p>In order to mitigate for the loss of 4.73 acres Swainson's hawk foraging habitat, the Applicant shall implement one of the following City of Elk Grove's approved mitigation alternatives.</p> <p>Prior to any site disturbance, such as clearing or grubbing, or the issuance of any permits for grading, building, or other site improvements, whichever occurs first, the Applicant shall:</p> <ul style="list-style-type: none"> • Preserve 1.0 acre of similar habitat for each acre lost (4.73 acres). This land shall be protected through a fee title or conservation easement acceptable to the City of Elk Grove as set forth in Chapter 16.130.040(A) of the Elk Grove Municipal Code as such may be amended from time to time and to the extent that said Chapter remains in effect, OR • Purchase mitigation credits at a 1:1 ratio (one credit per each acre of habitat lost) at a Department of Fish and Game approved mitigation bank, OR • Submit payment of Swainson's hawk impact mitigation fee per acre of habitat impacted (payment shall be at a 1:1 ratio) to the City of Elk Grove in the amount set forth in EGMC Chapter 16.130 as such may be amended from time to time and to the extent that said chapter remains in effect. | Prior to any site disturbance, such as clearing or grubbing, or the issuance of any permits for grading, building, or other site improvements, whichever occurs first. | Planning | |
| PRIOR TO OR IN CONJUNCTION WITH BUILDING PERMIT | | | | |
| 42. | SMUD has existing underground facilities along the east side of the parcel as well as on the south side of the parcel. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearance cannot be maintained, the Applicant shall be responsible for the cost of relocation. | Building Permit | SMUD | |
| 43. | The Applicant shall conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained. | Building Permit | SMUD | |
| 44. | Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. | Building Permit | SMUD | |
| 45. | In the event the Applicant requires the relocation or removal of existing SMUD facilities on the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal. | Building Permit | SMUD | |

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|-----|--|-----------------|-----------|--|
| 46. | SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs. | Building Permit | SMUD | |
| 47. | The Applicant shall not place any building foundations within five (5) feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.). | Building Permit | SMUD | |
| 48. | The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services | Building Permit | SMUD | |
| 49. | Fire lanes shall be clearly marked throughout the Project site in accordance with the California Fire Code. | Building Permit | CCSD-Fire | |
| 50. | Project buildings shall provide a dedicated fire control room that will contain the fire sprinkler riser and the fire alarm control panel at a minimum. | Building Permit | CCSD-Fire | |
| 51. | Gates across driveways shall meet the requirements of the California Fire Code and the Cosumnes Fire Department. | Building Permit | CCSD-Fire | |
| 52. | The property owner(s) shall: (1) approve (a) the formation of a new or annexation into an existing community facilities district (CFD) and (b) an annual CD special tax; or (2) deposit a sum money, as determined by the Cosumnes Community Services District, sufficient for the CCSD to fund a portion of the cost of the CCSD's costs of providing ongoing fire and emergency services, maintenance, operation and repair and replacement of fire facilities, apparatus and equipment. Any costs for the formation of the new or annexation into an existing CFD, and approval such annual CFD special taxes or administration of the sum of money deposited to fund the CCSD's costs of providing ongoing fire and emergency services, shall be paid from the annual CFD special taxes or the sum of money deposited with the CCSD. In the event that the property owner(s) fails to approve an annual CFD special tax or deposit a sum of money as provided for herein for such purposes for the CCSD, no further building permits for the property shall be issued. | Building Permit | CCSD-Fire | |
| 53. | The Project is required to implement the Sacramento Metropolitan Air Quality Management District's Basic Construction Emission Control Practices. | Building Permit | SMAQMD | |

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|-----|--|-----------------|------------------|--|
| 54. | The Applicant shall obtain air quality permits to construct and operate the pump fueling station. | Building Permit | SMAQMD | |
| 55. | Prior to issuance of a building permit, the Project area shall annex into the Maintenance Mello-Roos Community Facilities District 2006-1 (CFD) , to fund the Project's fair share of landscape related maintenance costs associated with public parkways, public parks, open space, landscape setbacks, bike and other paths, landscaped medians in and adjacent to roadways, maintenance and operation of a community center, sports (including aquatic) facilities, cultural arts center, and water features, and maintenance of other related facilities. The annexation process can take several months, so applicants should plan accordingly. The application fee and completed application for the annexation is due prior to the Resolution of Intention to Annex the Property and Levy the Special Tax. For further information regarding this CFD, see http://www.elkgrovecity.org/city_hall/departments_divisions/finance/mello_roos_cfd/s/ | Building Permit | Finance | |
| 56. | Prior to issuance of a building permit, the Project area shall annex into the Storm Water Drainage Fee Zone 2 to fund a portion of the additional costs for storm water drainage and run-off maintenance related to serving the new development. The annexation process can take several months, so applicants should plan accordingly. The completed application for the annexation is due prior to the Resolution of Intention to Levy Storm Water Drainage Fee Zone 2 assessments. For further information on this District, see http://www.codepublishing.com/CA/elkgrove/#!/ElkGrove15/ElkGrove1510.html#15.10 . | Building Permit | Finance | |
| 57. | The Applicant shall provide a separate public water service to each building. | Building Permit | SCWA and/or EGWD | |
| 58. | Prior to the issuance of any building permits for the Project, the Applicant shall pay Zone 40 development fees applicable at the time of building permit issuance in accordance with Title 4 of the Sacramento County Water Agency (SCWA) Code. | Building Permit | SCWA | |
| 59. | Prior to the issuance of building permit, the Project shall show efficient cooling systems, re-circulating pumps for fountains and ponds and water recycling systems for vehicle washing as a condition of service. | Building Permit | SCWA | |
| 60. | The Applicant shall provide a metered connection on transmission mains to the satisfaction of the Sacramento County Water Agency. | Building Permit | SCWA | |

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|-----|---|---------------------|---------------------------------------|--|
| 61. | Prior to the issuance of a building permit, the Project shall require water intensive commercial and industrial permit to conduct a water use efficiency review and submit the findings to Sacramento County Water Agency. | Building Permit | SCWA | |
| 62. | The Applicant shall contact Permit Services Unit at PermitServices@sacsewer.com or by phone at 916.876.6100 to determine if sewer impact fees are due. Fees shall be paid prior to issuance of building permits. | Building Permit | SASD | |
| 63. | A Boundary Line Adjustment (BLA) establishing the boundaries shown on the site plan shall be completed prior to 1 st Building Permit. The Conditional Use Permit is not effective until the BLA has been approved by the City and recorded at Sacramento County. | 1st Building Permit | Engineering | |
| 64. | The Applicant shall design and install all trails in accordance with the City's Bicycle, Pedestrian, and Trails Master Plan (BPTMP) and Improvement Standards, to the satisfaction of the City. Some components of the trails may be consistent with the on-going BPTMP update as shown on the Project site plan and as recommend by the City's Trails Committee. | Building Permit | Planning Engineering CCSD Parks | |
| 65. | Pursuant to Chapter 16.97 and Section 16.120.030.D of the Elk Grove Municipal Code, this Project is subject to the voluntary I-5 Sub-regional Corridor Mitigation Fee. The Applicant shall either pay this fee prior to the issuance of Building Permits for the applicable use or prepare its own analysis to determine its fair share mitigation provided that, if improvements are chosen as alternative mitigation, such improvements must be consistent with those improvements identified in the I-5 Sub-regional Corridor Improvement Plan. Any alternative mitigation proposed by the Applicant must be accepted by the City and Caltrans. The payment of such alternative mitigation fee, provision of infrastructure, or other mitigation, shall constitute mitigation for the Project in lieu of the I-5 Sub-regional Corridor Mitigation Fee. | Building Permit | Engineering Building Planning | |
| 66. | The existing visibility easements shown on 206 P.M. 20 shall be abandoned at the existing driveways and a new access restriction shall be dedicated at these locations. In addition, the existing access restriction shown on 206 P.M. 20 shall be abandoned at the proposed driveways for this Project. The Applicant shall obtain all necessary approvals from the City for the abandonment. | Building Permit | Engineering | |
| 67. | The Project driveways on Bond Road and Waterman Road shall be limited to right-in/right-out turn vehicular movements only. | Building Permit | Engineering | |

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|-----|---|-----------------|-------------|--|
| 68. | The monument signs shall be located outside of any public utility easements. | Building Permit | Engineering | |
| 69. | The Applicant shall reconstruct all damaged public improvements along the Project's frontages, whether or not caused by construction-related activities in accordance with City's Standards and to the satisfaction of the City. If pavement replacement is necessary, as determined by the City, the Applicant may be required to grind, overlay, and/or slurry seal the damage portion(s) in accordance with the City Improvement Standards and to the satisfaction of the City. | Building Permit | Engineering | |
| 70. | The Applicant shall reconstruct any existing ADA compliance improvements adjacent to the Project to meet current standards. | Building Permit | Engineering | |
| 71. | In accordance with the Noise memo dated August 10, 2020, the Applicant shall incorporate the following design features into the Project: <ul style="list-style-type: none"> • Car wash/dryers shall be 260 feet or more from the nearest residential property. • The brushes in the car wash will be "Istobal Flex 5" short tunnel • Silencers shall be affixed to all the blowers. | Building Permit | Planning | |
| 72. | The trash enclosure for the automobile fueling station shall be relocated away from view from adjacent streets. If a new location of the trash enclosure cannot reasonably be achieved by the Applicant, all as determined by the Development Services Director, then the Applicant shall provide landscaping and material enhancements to the trash enclosure, all subject to approval of the Development Services Director. The Applicant shall coordinate with City Staff and the Fallbrook Homeowners Association on any design and/or location modifications to the trash enclosure, with final design and/or location subject to approval by the Development Services Director. | Building Permit | Planning | |
| 73. | The Applicant shall provide detached sidewalk from the proposed driveway on Bond Road to the west property line. The sidewalk shall include a minimum six-foot wide meandering sidewalk, separated from the back of curb no less than six feet, all subject to approval of the Development Services Director. | Building Permit | Planning | |

**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2021-086**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on March 24, 2021 by the following vote:

AYES: **COUNCILMEMBERS:** *Singh-Allen, Nguyen, Hume, Spease, and Suen*

NOES: **COUNCILMEMBERS:** *None*

ABSTAIN: **COUNCILMEMBERS:** *None*

ABSENT: **COUNCILMEMBERS:** *None*



**Jason Lindgren, City Clerk
City of Elk Grove, California**